



# Staff Report

PLANNING DIVISION  
DEPARTMENT of COMMUNITY and NEIGHBORHOODS

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To: Salt Lake City Planning Commission  
From: Doug Dansie, Senior Planner, [doug.dansie@slcgov.com](mailto:doug.dansie@slcgov.com) or 801-535-6182  
Date: August 14, 2019  
Re: Central Station Apartments - Planned Development and Design Review (PLNSUB2019-00477 & PLNPCM2019-00399)

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## Planned Development & Design Review

**PROPERTY ADDRESS:** 549 W 200 South

**PARCEL ID:** 15-01-151-002, 15-01-151-003, and 15-01-151-004

(These lots are being consolidated into one lot as part of petition PLNSUB2019-00571 which is being processed separately)

**MASTER PLAN:** Downtown, Gateway Specific Plan

**ZONING DISTRICT:** G-MU-Gateway Mixed Use

**REQUEST:** A request by Mark Isaac, from Central Station Apartments, LLC., for a Planned Development and Design Review to build a six story 65--unit (approximate) residential building in the Gateway Mixed Use (G-MU) zoning district. Planned Development approval is required for all new construction in the G-MU zoning district. Therefore this planned development differs from other planned developments requests that are processed through the planned development process because most other requests are inherently petitioning to modify some base zoning requirements. This project meets all massing and land use requirements, however the applicant is requesting modifications to the exterior building materials and fenestration through the Design Review process.

This request includes a reduced amount of brick or hard materials and an increased use of stucco and metal (beyond mere use as fenestration). The petition is also requesting modification to some of the fenestration requirements such as the level of window indentation.

**RECOMMENDATION:** Based on the analysis and findings listed in the staff report, planning staff recommends the Planning Commission approve the Planned Development for new construction in the G-MU zoning district.

Staff recommends the Planning Commission approve of the Design Review for requested modifications of the G-MU urban design provisions related to exterior material requirements.

This recommendation is based on the conditions of approval listed below. Final details regarding these conditions of approval are delegated to planning staff.

1. Final approval of the details for public art, signage, lighting, streetscape details, hardscaping and landscaping to be delegated to Planning Staff to ensure compliance with the General City Standards and for specific Design Review and Planned Development approval standards.
2. Approval is for the specific items discussed and identified in the staff report. All other applicable zoning regulations and requirements from other city departments still apply.

**ATTACHMENTS:**

- A. [Vicinity Map](#)
- B. [Plan Set](#)
- C. [Project Narratives / Elevations](#)
- D. [Public Art Proposal](#)
- E. [Arts Council Public Art Review](#)
- F. [Property and Vicinity Photos](#)
- G. [G-MU Zoning Standards](#)
- H. [Planned Development Standards](#)
- I. [DR Standards](#)
- J. [Public Process & Comments](#)
- K. [Department Review Comments](#)

## PROJECT DESCRIPTION:

### Central Station Apartments

The applicant is proposing to build a 65-unit residential development. The property is currently three (3) separate parcels occupied by warehouse structures. The parcels are being consolidated into one (1) parcel via petition PLNSUB2019-00571 (not included as part of this staff report).

#### Quick Facts

**Height:** 70 feet 5 inches, 6 stories

**Number of Residential Units:** 65 approx.

**Exterior Materials:** Glass, brick, metal and stucco

**Parking:** 32-34 onsite parking stalls (meets parking requirement), plus adjacent on street parking stalls

**Review Process & Standards:** Design Review, Planned Development, G-MU and general zoning standards.

The “Central Station Apartments” consists of a six story building with a height of 70 feet 5 inches. The main entrance is from 200 South. A mid-block walkway that runs north/south adjacent to the east property line is a private street (Woodbine) that has a right-of-way easement by the development. The project includes 32 (or up to 34 depending on final layout) parking stalls located interior to the development that are accessed from a driveway approach off of 200 South. The project meets its parking requirement. A drive-approach exists on 200 South, but the location will be altered with the new construction. There is also on-street parking along the 200 South street frontage. The building faces 200 South, with its main entry exit/entrance onto the 200 South sidewalk. The ground level contains support spaces for the apartment building (leasing, gym, etc) and the façade has a percentage of glass in excess of what is required at the ground level. The developer has provided a detailed narrative regarding their proposal and design considerations in [Attachment C](#).

### PLANNING COMMISISON REQUESTS:

#### Planned Development Request

All new construction in the G-MU zoning district requires Planned Development approval. For complete analysis and findings in relation to the Planned Development standards please refer to [Attachment H](#).

#### Design Review Request

The applicant is requesting a reduction of the G-MU Urban Design provisions 21A.31.020.P that requires 70% of the exterior materials (excluding windows) be brick, masonry, textured or patterned concrete and/or cut stone. Except for minor building elements (e.g. soffit, fascia) other materials are only allowed through the DR process. It is important to note that many (if not most) buildings in the G-MU have received modification to the building material palate. The primary concern has been to not have simplistic or sterile architecture that lack visual interest.

The following are the proposed material percentages:

North Elevation				
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Total Façade			7,266 SQFT	100%
Glazing			2,516 SQFT	35%
	Remaining Façade		4,750 SQFT	100%
	Durable*		2,881 SQFT	28%
	Metal		469 SQFT	10%
	Stucco		1,400 SQFT	62%
		First Floor overall	1,247 SQFT	100%
		Glazing	692 SQFT	55%

<b>West Elevation</b>				
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Total Façade			10,968 SQFT	100%
Glazing			472 SQFT	4.3%
	Remaining Façade		10,496 SQFT	100%
	Durable*		4,756 SQFT	45.4%
	Metal		0 SQFT	0%
	Stucco		5,741 SQFT	54.6%
		First Floor overall	1,886 SQFT	100%
		Glazing	0 SQFT	0%

<b>South Elevation</b>				
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Total Façade			7,335 SQFT	100%
Glazing			1,719 SQFT	23.4%
	Remaining Façade		5,616 SQFT	100%
	Durable*		1,888 SQFT	33.7%
	Metal		250 SQFT	4.4%
	Stucco		3,728 SQFT	66.3%
		First Floor overall	1,262 SQFT	100%
		Glazing	0 SQFT	0%

<b>East Elevation</b>				
Overall	Overall Minus Glass	First Floor only	Square Footage	Percentage
Total Façade			10,569 SQFT	100%
Glazing			2,597 SQFT	24.5%
	Remaining Façade	7,972 SQFT		100%
	Durable*	3,873 SQFT		48.6%
	Metal	1,281 SQFT		16%
	Stucco	4,099 SQFT		51.4%
		First Floor overall	1,833 SQFT	100%
		Glazing	354 SQFT	19.3%

\*Durable includes brick, concrete and other allowed hard materials

The north and east façades will be visible to the general public. The south façade is the rear yard and will not be highly visible unless an extension of Eccles Avenue is continued through the block (Eccles Avenue exists on the east side of the block and the RDA has plans to continue its development, but they do not yet own the property). The west façade is at the lot line and will be blocked from view at such time that there is construction on the adjacent lot (this zone allows for zero lot line construction)

The design requirements of the G-MU zoning district also discourages the use of “curtain wall” construction. The zoning district requires a 3 inch indentation of windows and other design features to ensure that the building façade is not “flat”. The petitioner is not proposing a “flat” façade, but is requesting some modification to specific criteria. The windows surrounded by brick are proposed to be indented from the brick by 2.5 inches. The windows in the stucco portion are flush with the surface of the building. The building proposal does not meet the specific requirement regarding window



indentation and fenestration, but the building does not have a “curtain wall” effect intended to be discouraged by the requirements either.

For complete analysis and findings in relation to the Design Review standards, please refer to [Attachment I](#).

### **Public Art**

In accordance with 21A.31.020.P.5, all projects requiring Design Review approval for a site or design standard shall incorporate public art. The plan to incorporate public art shall be reviewed by the Salt Lake Art Design Board. The public art (*which may include artists' work integrated into the design of the building and landscaping, sculpture, painting, murals, glass, mixed media or work by artisans*), shall be accessible or directly viewable to the general public.



The public art that is proposed as part of the project is a painted mural. The public art is proposed along the midblock walkway (Woodbine) on the eastern border of the project site. The information submitted for the public art design proposal and the review comments provided by the Arts Council can be found in [Attachment D](#) and [Attachment E](#).

### **KEY CONSIDERATIONS:**

The key considerations listed below were identified through planning staff’s analysis of the project.

#### **Request to Reduce Exterior Material Requirements**

The proposed building shows metal, masonry and glass on the ground level of the front façade of the building. Stucco is being used in portions of the upper floors of the building including both those that are indented or setback from the general plane of the façade and portions that are flush with the property line. The percentage of materials for other facades are outlined in the previous paragraphs. All four sides of the building have “hard” materials at the lower levels (brick and/or concrete). The Gateway Districts Urban Design Standards 21A.31.010.P.1.a.2, Salt Lake City Zoning Ordinance, specifies the following:

*All new buildings in the gateway district shall have a minimum of seventy percent (70%) of the exterior material (excluding windows) be brick, masonry, textured or patterned concrete and/or cut stone. With the exception of minor building elements (e.g., soffit, fascia) the following materials are allowed only through the design review process: EIFS, tilt-up concrete panels, corrugated metal, vinyl and aluminum siding, and other materials*

The applicant has requested the Design Review process for the reduction of the percent of required masonry materials, as well as an increase in the metal and stucco that is used for more than just minor building elements. The G-MU urban design standards are intended to foster the creation of a rich urban environment that accommodates growth and is compatible with existing buildings and uses in the area. The proposed new development and site layout is designed to complement the surrounding development. Where the building is viewable from the public street, the building relates to the human scale through a series of recessions and projections of the façade plane, balconies provide change and contrast and other architectural details provide intricacy. Additionally, the 200 South facing ground level of the building maintains a high level of glass that promotes pedestrian activity and visibility. Modification of materials is not an uncommon request in the G-MU zoning district; with many (if not

most) developments in the area requesting some sort of alteration. The primary concern in approving modifications has been durability (particularly at the ground levels) and variety in architecture. Staff finds the project meets the intent of the urban design standards and recommends the reduction of masonry materials and the use of stucco as shown in the plans.

The urban design standards of the G-MU zoning district states that buildings with smooth exteriors that do not provide three-dimensional details or fenestration are not appropriate in the gateway district. The only building façade that is flat in this proposal is on the west side, where zoning and building code would allow another building to be built at the property line; therefore walls on this façade are necessarily blank to accommodate future adjacent development and the window well section is indented to accommodate light and building code access when such adjacent development is constructed. All other façades facing the street, midblock walkway (Woodbine) and rear of the building, have detailing and articulation to meet the intent of the G-MU urban design requirements and the Design Review standards that require architectural detailing that facilitates pedestrian interest. Staff finds the exterior material reductions related to these façades that are readily visible from the public way meet the standards of approval. Planning staff is specifically not recommending additional detailing be provided on the façade adjacent to the west property lines because if the adjacent properties are redeveloped, they could be developed right up to the property line and that façade would not be visible.

The south property line is not readily visible to the public at this time because it is the rear of the building, however the potential future continuation of Eccles Avenue could expose the south façade to more visibility. The gas and electrical meters and a transformer are proposed to be located on or near the south façade and will become more visible if Eccles is extended; however they are necessary to the building's function and the rear façade is the appropriate place for them. (The east façade is adjacent to Woodbine and the west façade is adjacent to other buildings and is not exposed)

### **Mid-block Walkway**

As a part of the city's plan for the downtown area, it is intended that mid-block walkways be provided to facilitate pedestrian movement within the area. To delineate the public need for such walkways, the city has formulated an official plan for their location and implementation. All new construction of buildings in the G-MU zone shall conform to this plan for mid-block walkways. This project includes partial ownership of Woodbine Avenue, which runs north/south, and is used as a mid-block walkway on the eastern edge of the property. Because the applicant is requesting a modification to the urban design standards of the G-MU zone, public art must be incorporated into the project. The public art is proposed to be incorporated along the Woodbine Avenue/mid-block walkway. The midblock walkway will be activated by windows into internal space for the 37.5 feet along Woodbine, adjacent to the 200 South. The portions further south are a blank wall that will be the canvas for the public art.

## **NEXT STEPS:**

### **Approval of Design Review & the Planned Development**

If the requests are approved, the applicant will need to need to comply with the conditions of approval, including any of the conditions required by other city departments and the Planning Commission. The applicant already has submitted a lot consolidation petition to combine the three parcels into one parcel before submitting for a building permit. The applicant will be able to submit plans for building permits. Certificates of occupancy for the buildings will only be issued once all conditions of approval are met.

### **Denial of Design Review & the Planned Development**

If the Design Review request for the proposed exterior materials is denied, the applicant would still be able to construct the project as proposed, except for the exterior materials would have to comply with

the urban design provisions of the G-MU zone which require that 70% of exterior materials be brick, masonry, textured or patterned concrete and or cut stone.

If the entire planned development request is denied (not staff's recommendation), the applicant would need to submit a new planned development application and go through the process since planned development approval is required for all new construction in the G-MU zone.

**ATTACHMENT A – VICINITY MAP**

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## **ATTACHMENT B – PLAN SET**

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# CENTRAL STATION

200 South 549 West  
Salt Lake City, Utah



PROJECT TEAM			
Developer : <b>Gardner Batt</b> CONTACT : Michael Batt EMAIL : mbatt@gardnerbatt.com		Mechanical & Plumbing Engineer : <b>Royal Engineering</b> CONTACT : Ken Nigbur PHONE (801) 372-0311	
Architect : <b>Architecture Belgique, Inc.</b> CONTACT : Mike Ackley PHONE (801) 561-1333		Electrical Engineer : <b>Cloward Engineering Group</b> CONTACT : Kyle Breinholt PHONE (801) 372-0311	
Civil Engineer : <b>Ensign Engineering</b> CONTACT : Jared Ford PHONE (801) 255-0529		Landscape Architect : <b>STB Design</b> CONTACT : Scott Blake PHONE (801) 554-8146	
Structural Engineer : <b>Canyons Structural Consulting</b> CONTACT : Dany Tremblay PHONE (801) 488-6848		Interior Designer : <b>Architecture Belgique, Inc.</b> CONTACT : Heather Cardall PHONE (801) 561-1333	



4/5/2019

**CENTRAL STATION**  
200 SOUTH 549 WEST  
SALT LAKE CITY, UT

Date  
APRIL 5, 2019

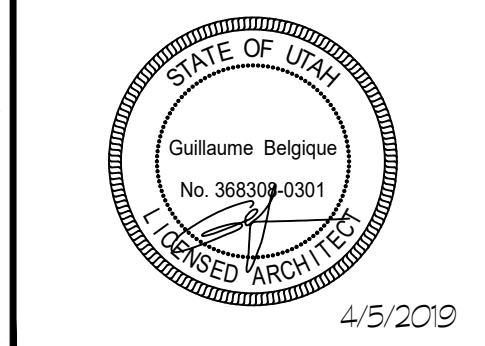
DATE	REVISIONS

Sheet Title  
Cover Sheet

Sheet Number  
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**CENTRAL STATION**  
200 SOUTH 549 WEST  
SALT LAKE CITY, UT

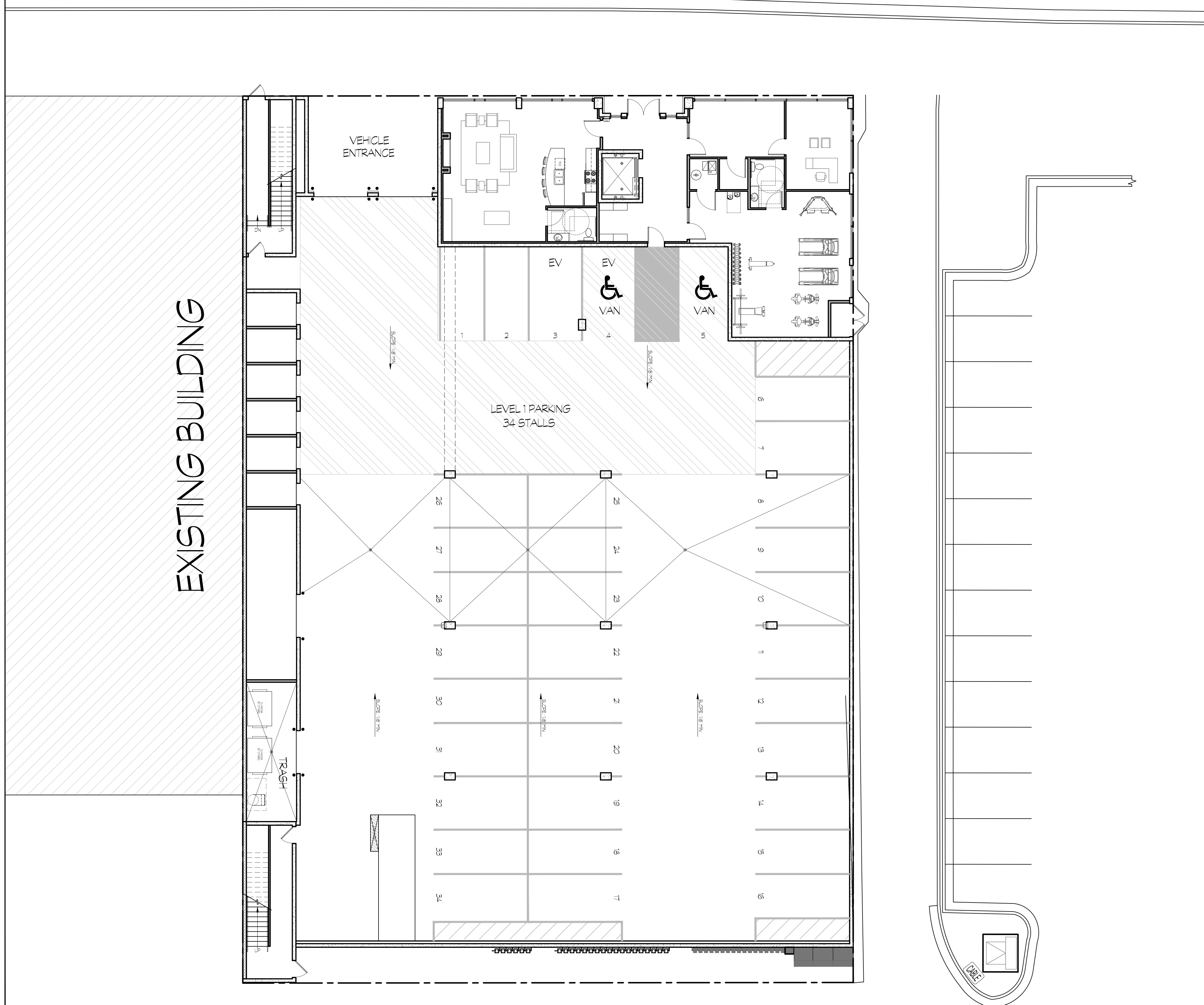
Date  
APRIL 5, 2019

DATE	REVISIONS

Sheet Title  
Architectural Site Plan

Sheet Number  
AO.01

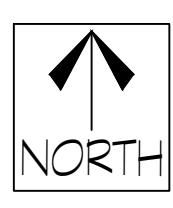
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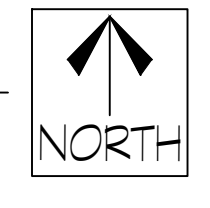
SITE TABULATION			
TOTAL :	18,728sqft	.43 Acres	100%
Building :	17,491sqft	.4 Acres	97%
Site Open space :	1,237sqft	.03 Acres	7%
PARKING PROVIDED			
Parking Provided	= 34		



2 VICINITY MAP  
AO.01 SCALE: NTS  
(24' x 36')

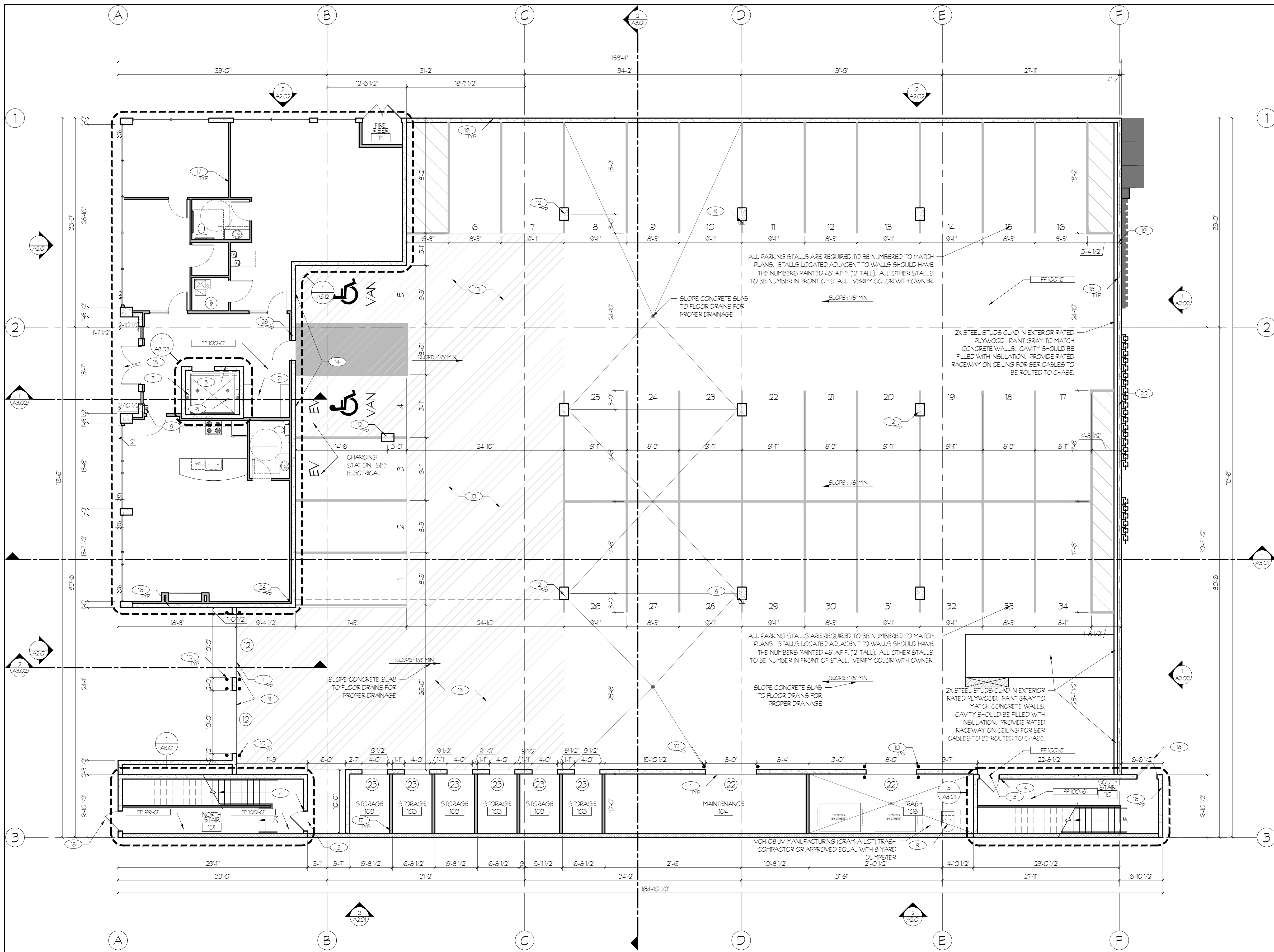


1 ARCHITECTURAL SITE PLAN  
AO.01 SCALE: 3/32"=1'-0"  
(24' x 36')



ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. REFER TO CIVIL & LANDSCAPE DRAWINGS FOR ALL SITE DIMENSIONS, GRADING, DETAILS & ACCESSIBILITY INFORMATION.





1 OVERALL FLOOR PLAN  
 A1.01 SCALE: 1/8" = 1'-0"  
 (24' x 36')

- OVERALL FLOOR PLAN KEYED NOTES:**
- SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - TACTILE SIGN STATING "EXIT AND COMPLYING WITH ICC A117.1 IS TO BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY (BC SECTION 101.3).
  - FLOOR LEVEL IDENTIFICATION SIGNS IN TACTILE CHARACTERS COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL AND BE ADJACENT TO THE DOOR LEADING TO THE CORRIDOR. SEE DETAIL 3.01.01. BC 1022.8.1
  - G.C. TO PROVIDE TACTILE EXIT SIGNS WHICH READ "IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE STAIRS" IN COMPLIANCE WITH SECTION 3002.3 OF THE IBC.
  - SCHINDLER 3300 XL MACHINE-LESS PASSENGER ELEVATOR (3500 & 4000 LB CAPACITY AND 200FPM SPEED) WITH STAINLESS STEEL DOOR AND CAB (6'-0" TALL) INSTALLED BY ELEVATOR MANUFACTURER. COORDINATE WITH MANUFACTURER ELECTRICAL, MECHANICAL AND HOIST REQUIREMENTS. SEE ELECTRICAL AND MECHANICAL DRAWINGS. ELEVATOR CAR SHALL ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME. BC SECTION 3002.4
  - FOUNDATION WALLS AT ELEVATOR PIT PER STRUCTURAL DRAWINGS. SEE DETAIL 12.01.02 FOR CONTINUOUS WATERPROOFING AT EXTERIOR FACE BELOW GRADE. LOCATE BUCKET IN CORNER OF PIT FOR FUTURE SLUMP PUMP.
  - FIRE EXTINGUISHER CABINET. SEE DETAIL 1.01.01
  - VERIFY OPENING SIZE AND DETAILS WITH TRASH CHUTE MANUFACTURER. TRASH CHUTE OPENINGS TO BE PROTECTED WITH 90 MN FIRE RATED SELF-CLOSING DOORS AND BE FIRE SPRINKLED PER BC 903.2.12. TRASH CHUTE TO BE PROVIDED WITH SANITIZING SYSTEM.
  - 6" CONCRETE FILLED STEEL PIPE BOLLARDS MIN 3'-0" HIGH AND 3'-0" DEEP IN CONCRETE FOOTING (SURFACE MOUNTED WHEN IN PIT DECK)
  - HIGH SPEED ALBANY GARAGE DOOR. PROVIDE 5 GARAGE DOOR OPENERS. GARAGE DOOR TO BE OPENED BY BA (BARCODE AUTOMATION INC.) DUAL BEAM DECAL SCANNER. BA-440 OR APPROVED EQUAL. PROVIDE MIN 50 TONAL STOPGERS THAT ARE BLACK ON BLACK. EXITING GARAGE TO BE CONTROLLED BY MOTION SENSOR.
  - CONCRETE COLUMNS TO HAVE SMOOTH ARCHITECTURAL FINISH WITH CHAMFERED CORNERS.
  - A VERTICAL CLEARANCE OF 126" AT HATCHED AREA AROUND LOADING BERTH (INDICATED WITH GRAY SHADING)
  - PROVIDE SIGNAGE PER BC 111 AND SECTION 502.7 OF ICC A117.1-09 FOR ACCESSIBLE PARKING A MINIMUM OF 60" ABOVE THE SURFACE OF PARKING. VAN ACCESSIBLE PARKING SHALL BE MARKED AS VAN ACCESSIBLE. SEE DETAIL 8.01.01
  - CONDENSING UNIT ON WALL MOUNTED HANGAR.
  - CONCRETE FOUNDATION WALL WITH SMOOTH ARCHITECTURAL FINISH ABOVE GRADE. SEE STRUCTURAL DRAWINGS. REVEAL PER DETAIL 10.01.02
  - STEEL STUD FRAMING WITH DENGLASS SHEATHING AT ALL LEVEL 1 LOCATIONS. SEE STRUCTURAL FOR GAUGE AND SPACING.
  - SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF SIDEWALK. MAXIMUM 2% SLOPE AT EXTERIOR DOOR LANDINGS IN THE DIRECTION OF TRAVEL.
  - ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.
  - GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.
  - VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND NUMBER OF BOXES. SEE DETAIL 1.01.02
  - COURTYARD FINISHED PER LANDSCAPE DRAWINGS
  - PT DECK TO STEP IN COURTYARD. SEE DETAILS 6-8.01.07 AND STRUCTURAL DRAWINGS
  - PAINTED GYP BOARD WALL FINISH. PAINT COLOR AND BRAND TO BE OWNER SELECTED. SEE OWNER'S SPEC AND INTERIOR DESIGN DRAWINGS.
  - EXTERIOR 2 HOUR RATED ASSEMBLY. SEE STRUCTURAL DRAWINGS. SEE DETAIL 2.01.01
  - TENANT DEMISING WALLS. SEE SHEETS F103-F108. SEE DETAIL 5-6.01.01
  - PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAIL 3.01.04
  - ALL WALLS SEPARATING CONDITIONED FROM UNCONDITIONED SPACE PROVIDE 1/2" AIR GAP BETWEEN FRAMING AND CONCRETE. INSULATE & MAINTAIN GAP. PROVIDE VAPOR BARRIER ON INTERIOR SIDE.
  - GACO FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 1.2.01.04.
  - UNIT BALCONIES AND PATIOS OVER PT DECK SLOPE MIN 1/4" PER FOOT FOR DRAINAGE. SEE PLUMBING DRAWINGS FOR LOCATIONS AND PIPING OF UNIT BALCONY DRAINS.
  - CRICKETS AS NECESSARY FOR PROPER ROOF DRAINAGE.
  - CLASS B SINGLE PLY ENERGY STAR COMPLIANT TPO ROOF MEMBRANE (60 ML WITH 20 YEAR WARRANTY) OVER SCHEDULED SHEATHING AND BOX TRUSSES. SLOPE TOWARDS ROOF DRAINS. SEE STRUCTURAL AND PLUMBING DRAWINGS AND DETAIL 1.01.02. SEE DETAILS 3-4.01.08 FOR PIPE PENETRATIONS
  - ROOF DRAINS. PRIMARY ROOF DRAIN SHALL CONNECT TO STORM SEWER. SECONDARY DRAIN SHALL DAYLIGHT OUT THROUGH BUILDING WALL AT MAIN FLOOR LEVEL WITH STANDARD BRASS FITTING. SEE PLUMBING DRAWINGS. SEE DETAILS 1.2.01.08
  - CONDENSING UNIT ON RUBBER PAD ON WOOD FRAMED PLATFORM. SLOPE PLATFORM FOR DRAINAGE ONTO ROOF. SEE MECHANICAL AND PLUMBING DRAWINGS. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAIL.
  - RUBBER ROOFTOP TRAFFIC-PAD SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - ROOF PARAPET. SEE PARAPET ROOF DETAILS 9-11.01.01. SEE STRUCTURAL DRAWINGS FOR ASSOCIATED LATERAL BRACINGS AND DETAILS (TYP).
  - VERIFY HEIGHT OF ELEVATOR SHAFT OVERLUN WITH ELEVATOR MANUFACTURER
  - SLOPE ELEVATOR AND STAIR TOWER ROOFS TO DRAIN TO GUTTER AND DOWNSPOUT ONTO SPLASH BLOCK AT LOWER ROOF

- GENERAL NOTES:**
- ALL BATHROOMS SHALL BE ADAPTABLE. GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIXTURE LOCATIONS, SOLID BLOCKING AND CLEAR FLOOR SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2008 IBC AND THE REQUIREMENTS OF SPECIFICATION A' BATHROOM OF THE FAIR HOUSING ACT DESIGN MANUAL.
  - ALL ENTRANCES TO UNITS SHALL BE ON AN ACCESSIBLE ROUTE AND PROVIDE DISABLED ACCESS TO THE UNITS. FLOOR LEVEL, OUTSIDE DOORWAYS SHALL BE NO MORE THAN 1/2" BELOW INSIDE FLOOR LEVEL AND SHALL NOT SLOPE MORE THAN 1/8" PER FOOT.
  - ALL ENTRY DOORS SHALL BE 36" WIDE, HAVE LEVER TYPE LATCHES AND HAVE THRESHOLDS NO HIGHER THAN 1/2" WHICH ARE BEVELED WITH A SLOPE NO GREATER THAN 1/2". SEE DETAIL 3.01.01
  - CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" MINIMUM, EXCEPT AT DOORS. CLEAR WIDTH OF THE ACCESSIBLE ROUTE WITH TURNS AROUND AN OBSTRUCTION LESS THAN 48" WIDE SHALL HAVE A CLEAR SPACE OF 42" x 48".
  - ELECTRICAL SWITCHES, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE NO OPERABLE PARTS WHICH ARE HIGHER THAN 48" NOR LESS THAN 15" A.F.F.
  - ALL UNITS ARE TO BE PROVIDED WITH SOLID BLOCKING BETWEEN STUDS IN THE BATHROOM WALLS BEHIND THE TOILET AND AROUND THE TUB AND BETWEEN THE WALL & THE BACK SURFACE OF THE TUB/SHOWER SPLASH FOR THE POSSIBLE FUTURE INSTALLATION OF GRAB BARS. (POSSIBLE FUTURE GRAB BAR AT THE SIDE OF THE TOILET WOULD BE EITHER A WALL-TO-FLOOR TYPE OR FOLD-DOWN TYPE). SEE ENLARGED BATHROOM PLANS.
  - A CLEAR FLOOR SPACE AT LEAST 30" x 48" THAT ALLOWS EITHER A FORWARD OR A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT ALL APPLIANCES IN THE KITCHEN, INCLUDING THE RANGE/COOKTOP, OVEN, REFRIGERATOR, DISHWASHER AND OR COMPACTOR. THE LOCATION OF CONTROLS FOR RANGE/COOKTOPS SHALL NOT REQUIRE REACHING ACROSS BURNERS.
  - THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP FORWARD APPROACH.
  - PROVIDE SOLID 2X FIRE BLOCKING AT ALL CEILING AND FLOOR LEVELS, TOPS AND BOTTOMS OF STAIRWAYS, AND AT DROPPED CEILING LOCATIONS.

**Architecture Belgique, Inc.**  
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 200 SOUTH 549 WEST  
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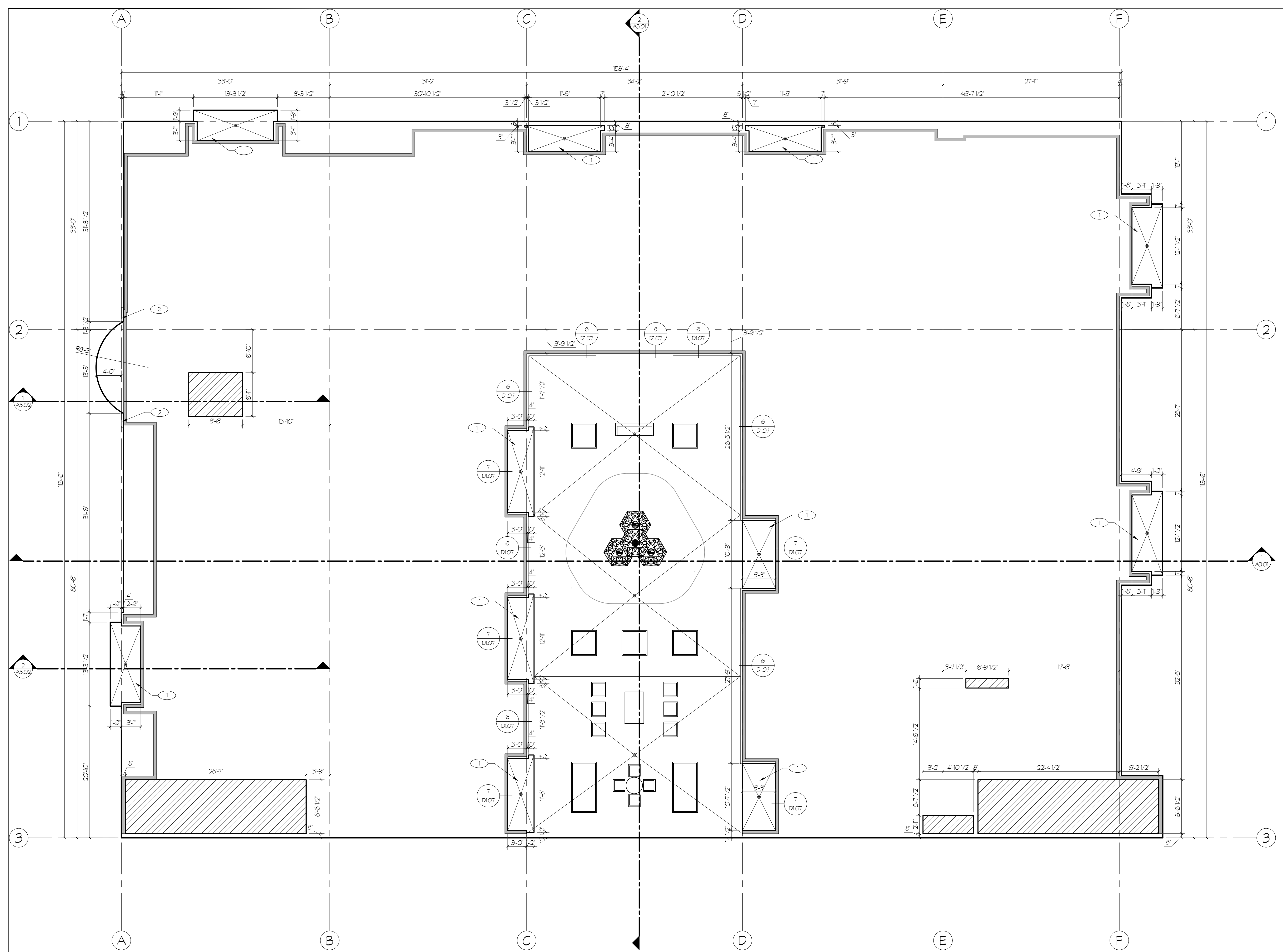
DATE REVISIONS

Sheet Title  
 Overall Floor Plan Level 1

Sheet Number  
 A1.01

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**1 OVERALL PT DECK PLAN BETWEEN LEVELS 1 & 2**  
A1.02 SCALE: 1/8" = 1'-0"  
(24' x 36')

**SLAB PLAN BETWEEN LEVELS 1 & 2 KEYED NOTES:**

- 1 PATIO DECKS SLOPE TO DRAIN.
- 2 BRICK CONTINUES TO GROUND LEVEL.
- 3 MOVEABLE PLANTER. SEE LANDSCAPE PLANS.
- 4 SHADED AREA REPRESENTS STAINED CONCRETE. SEE LANDSCAPE PLANS.

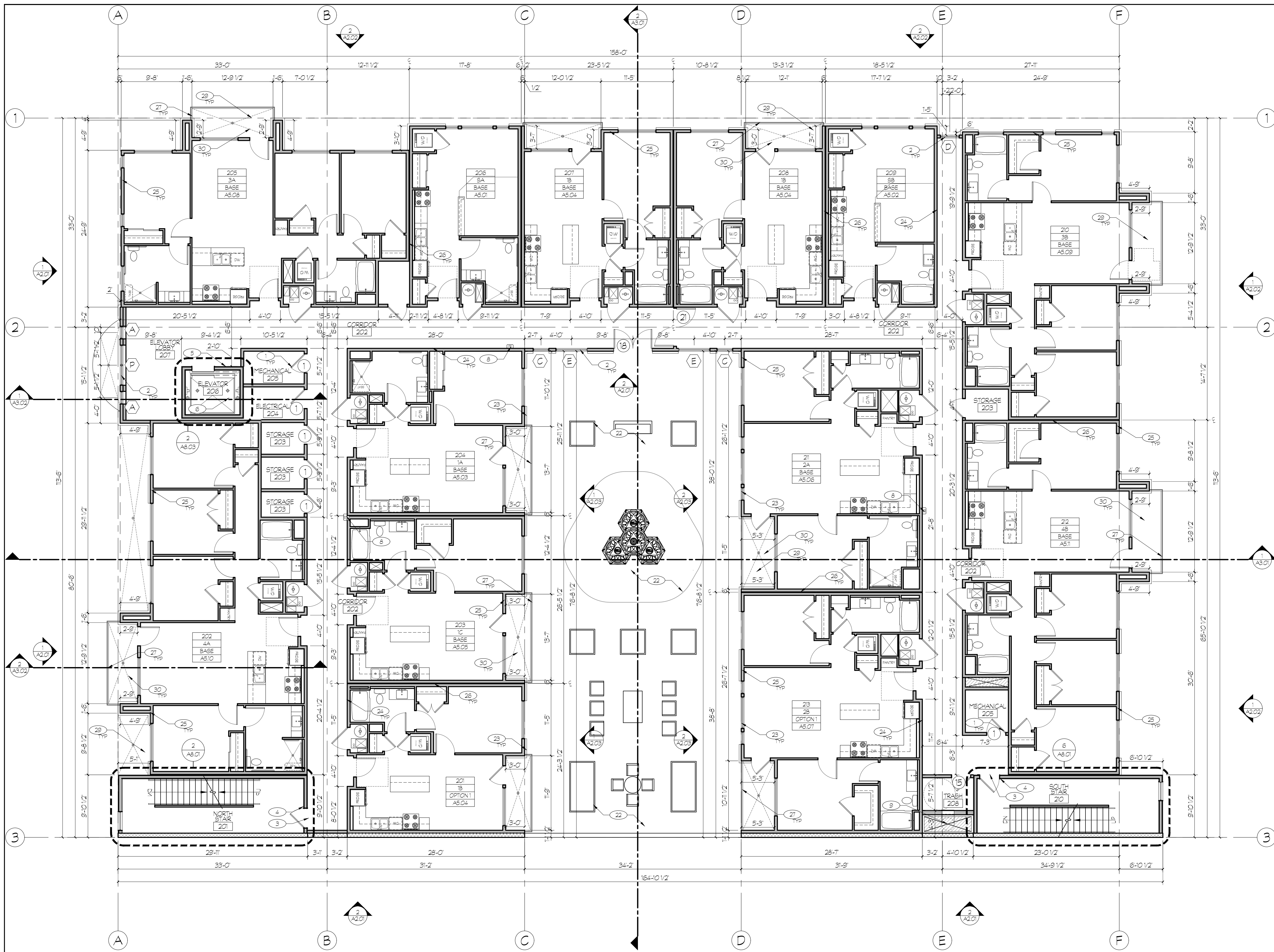
**SLAB PLAN BETWEEN LEVELS 1 & 2 GENERAL NOTES:**

- SEE SHEET A1.03 FOR ALL WINDOW AND DOOR OPENINGS
- ALL DIMENSIONS AROUND THE PT DECK ARE TO THE EDGE OF THE PT DECK OR TO A GRID LINE

**SLAB PLAN BETWEEN LEVELS 1 & 2 LEGEND**

	OPENING IN PT TO ALLOW FOR ELEVATORS, STAIRS, TRASH CHUTE AND SER CHARGE		STAINED CONCRETE PER KEYED NOTE 4
	LEVEL 2 WOOD FRAMING. SEE SHEET A1.03		PT PERIMETER
	BRICK EDGE		ELEVATION OF A GIVEN POINT TO SHOW EXTENT OF SLOPE





1 OVERALL FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 (24" x 36")

- OVERALL FLOOR PLAN KEYED NOTES:**
- SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC A117.1 IS TO BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY (BC SECTION 101.3).
  - FLOOR LEVEL IDENTIFICATION SIGNS IN TACTILE CHARACTERS COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL AND BE ADJACENT TO THE DOOR LEADING TO THE CORRIDOR. SEE DETAIL 3.01.01. BC 1022.81.
  - G.C. TO PROVIDE TACTILE EXIT SIGNS WHICH READ "IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE STAIRS" IN COMPLIANCE WITH SECTION 3002.3 OF THE IBC.
  - SCHINDLER 3300 XL MACHINE ROOM-LESS PASSENGER ELEVATOR (3500 x 4000 LB CAPACITY AND 200PM SPEED) WITH STAINLESS STEEL DOOR AND CAB (8'-0" TALL) INSTALLED BY ELEVATOR MANUFACTURER. COORDINATE WITH MANUFACTURER ELECTRICAL, MECHANICAL AND HOIST REQUIREMENTS. SEE ELECTRICAL AND MECHANICAL DRAWINGS. ELEVATOR CAR SHALL ACCOMMODATE A 24-INCH BY 64-INCH AMBLANCE STRETCHER IN THE HORIZONTAL OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME. BC SECTION 3002.4.
  - FOUNDATION WALLS AT ELEVATOR PIT PER STRUCTURAL DRAWINGS. SEE DETAIL 12.01.02 FOR CONTINUOUS WATERPROOFING AT EXTERIOR FACE BELOW GRADE. LOCATE BUCKET IN CORNER OF PIT FOR FUTURE SLUMP PUMP.
  - PRE EXTINGUISHER CABINET. SEE DETAIL 1.01.01.
  - VERIFY OPENING SIZE AND DETAILS WITH TRASH CHUTE MANUFACTURER. TRASH CHUTE OPENINGS TO BE PROTECTED WITH 90 MIN FIRE RATED SELF-CLOSING DOORS AND BE FIRE SPRINKLED PER BC 903.21.2. TRASH CHUTE TO BE PROVIDED WITH SANITIZING SYSTEM.
  - 6" CONCRETE FILLED STEEL PIPE BOLLARDS MIN 3'-0" HIGH AND 3'-0" DEEP IN CONCRETE FOOTING (SURFACE MOUNTED WHEN IN PIT DECK).
  - HIGH SPEED ALBANY GARAGE DOOR. PROVIDE 5 GARAGE DOOR OPENERS. GARAGE DOOR TO BE OPENED BY BA (BARCODE AUTOMATION INC.) DUAL BEAM DECAL SCANNER. BA-440 OR APPROVED EQUAL. PROVIDE MIN 500 TON STICKERS THAT ARE BLACK ON BLACK. EXITING GARAGE TO BE CONTROLLED BY MOTION SENSOR.
  - CONCRETE COLUMNS TO HAVE SMOOTH ARCHITECTURAL FINISH WITH CHAMFERED CORNERS.
  - A VERTICAL CLEARANCE OF 126" AT HATCHED AREA AROUND LOADING BERTH (INDICATED WITH GRAY SHADING).
  - PROVIDE SIGNAGE PER BC 111 AND SECTION 502.7 OF ICC A117.09 FOR ACCESSIBLE PARKING. A MINIMUM OF 60' ABOVE THE SURFACE OF PARKING. VAN ACCESSIBLE PARKING SHALL BE MARKED AS VAN ACCESSIBLE. SEE DETAIL 8.01.01.
  - CONDENSING UNIT ON WALL MOUNTED HANGAR.
  - CONCRETE FOUNDATION WALL WITH SMOOTH ARCHITECTURAL FINISH ABOVE GRADE. SEE STRUCTURAL DRAWINGS. REVEAL PER DETAIL 10.01.02.
  - STEEL STUD FRAMING WITH DENSGLASS SHEATHING AT ALL LEVEL 1 LOCATIONS. SEE STRUCTURAL FOR GAUGE AND SPACING.
  - SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF SIDEWALK. MAXIMUM 2% SLOPE AT EXTERIOR DOOR LANDINGS IN THE DIRECTION OF TRAVEL.
  - ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.
  - GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.
  - VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND NUMBER OF BOXES. SEE DETAIL 1.01.02.
  - COURTYARD FINISHED PER LANDSCAPE DRAWINGS.
  - PT DECK TO STEP IN COURTYARD. SEE DETAILS 6-8.01.07 AND STRUCTURAL DRAWINGS.
  - PAINTED GYP BOARD WALL FINISH. PAINT COLOR AND BRAND TO BE OWNER SELECTED. SEE OWNER'S SPEC AND INTERIOR DESIGN DRAWINGS.
  - EXTERIOR 2 HOUR RATED ASSEMBLY. SEE STRUCTURAL DRAWINGS. SEE DETAIL 2.01.01.
  - TENANT DEMISING WALLS. SEE SHEETS F103-F108. SEE DETAIL 5-6.01.01.
  - PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAIL 3.01.04.
  - ALL WALLS SEPARATING CONDITIONED FROM UNCONDITIONED SPACE PROVIDE 1/2" AIR GAP BETWEEN FRAMING AND CONCRETE. INSULATE & MAINTAIN GAP. PROVIDE VAPOR BARRIER ON INTERIOR SIDE.
  - GACO FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 12.01.04.
  - UNIT BALCONIES AND PATIOS OVER PT DECK SLOPED MIN 1/4" PER FOOT FOR DRAINAGE. SEE PLUMBING DRAWINGS FOR LOCATIONS AND PIPING OF UNIT BALCONY DRAINS.
  - CRICKETS AS NECESSARY FOR PROPER ROOF DRAINAGE.
  - CLASS B SINGLE PLY ENERGY STAR COMPLIANT TPO ROOF MEMBRANE (60 ML WITH 20 YEAR WARRANTY) OVER SCHEDULED SHEATHING AND BOX TRUSSES. SLOPE TOWARDS ROOF DRAINS. SEE STRUCTURAL AND PLUMBING DRAWINGS AND DETAIL 1.01.02. SEE DETAILS 3-4.01.08 FOR PIPE PENETRATIONS.
  - ROOF DRAINS. PRIMARY ROOF DRAIN SHALL CONNECT TO STORM SEWER. SECONDARY DRAIN SHALL DAYLIGHT OUT THROUGH BUILDING WALL AT MAIN FLOOR LEVEL WITH STANDARD BRASS FITTING. SEE PLUMBING DRAWINGS. SEE DETAILS 12.01.08.
  - CONDENSING UNIT ON RUBBER PAD ON WOOD FRAMED PLATFORM. SLOPE PLATFORM FOR DRAINAGE ONTO ROOF. SEE MECHANICAL AND PLUMBING DRAWINGS. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAIL.
  - RUBBER ROOFTOP TRAFFIC PAD SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - ROOF PARAPET. SEE PARAPET ROOF DETAILS 9-11.01.01. SEE STRUCTURAL DRAWINGS FOR ASSOCIATED LATERAL BRACINGS AND DETAILS (TYP).
  - VERIFY HEIGHT OF ELEVATOR SHAFT OVERLUN WITH ELEVATOR MANUFACTURER.
  - SLOPE ELEVATOR AND STAIR TOWER ROOFS TO DRAIN TO GUTTER AND DOWNSPOUT ONTO SPLASH BLOCK AT LOWER ROOF.

- GENERAL NOTES:**
- ALL BATHROOMS SHALL BE ADAPTABLE. GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIXTURE LOCATIONS, SOLID BLOCKING AND CLEAR FLOOR SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2008 IBC AND THE REQUIREMENTS OF SPECIFICATION A' BATHROOM OF THE FAIR HOUSING ACT DESIGN MANUAL.
  - ALL ENTRANCES TO UNITS SHALL BE ON AN ACCESSIBLE ROUTE AND PROVIDE DISABLED ACCESS TO THE UNITS. FLOOR LEVEL, OUTSIDE DOORWAYS SHALL BE NO MORE THAN 1/2" BELOW INSIDE FLOOR LEVEL AND SHALL NOT SLOPE MORE THAN 1/8" PER FOOT.
  - ALL ENTRY DOORS TO UNITS SHALL BE 36" WIDE, HAVE LEVER TYPE LATCHES AND HAVE THRESHOLDS NO HIGHER THAN 1/2" WHICH ARE BEVELED WITH A SLOPE NO GREATER THAN 1/2". SEE DETAIL 3.01.01.
  - CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" MINIMUM, EXCEPT AT DOORS. CLEAR WIDTH OF THE ACCESSIBLE ROUTE WITH TURNS AROUND AN OBSTRUCTION LESS THAN 48" WIDE SHALL HAVE A CLEAR SPACE OF 42" x 48".
  - ELECTRICAL SWITCHES, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE NO OPERABLE PARTS WHICH ARE HIGHER THAN 48" NOR LESS THAN 15" A.F.F.
  - ALL UNITS ARE TO BE PROVIDED WITH SOLID BLOCKING BETWEEN STUDS IN THE BATHROOM WALLS BEHIND THE TOILET AND AROUND THE TUB AND BETWEEN THE WALL & THE BACK SURFACE OF THE TUB/SHOWER SPLASH FOR THE POSSIBLE FUTURE INSTALLATION OF GRAB BARS. (POSSIBLE FUTURE GRAB BAR AT THE SIDE OF THE TOILET WOULD BE EITHER A WALL-TO-FLOOR TYPE OR FOLD-DOWN TYPE). SEE ENLARGED BATHROOM PLANS.
  - A CLEAR FLOOR SPACE AT LEAST 30" x 48" THAT ALLOWS EITHER A FORWARD OR A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT ALL APPLIANCES IN THE KITCHEN, INCLUDING THE RANGE/COOKTOP, OVEN, REFRIGERATOR, DISHWASHER AND OR COMPACTOR. THE LOCATION OF CONTROLS FOR RANGE/COOKTOPS SHALL NOT REQUIRE REACHING ACROSS BURNERS.
  - THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP FORWARD APPROACH.
  - PROVIDE SOLID 2X FIRE BLOCKING AT ALL CEILING AND FLOOR LEVELS, TOPS AND BOTTOMS OF STAIRWAYS, AND AT DROPPED CEILING LOCATIONS.

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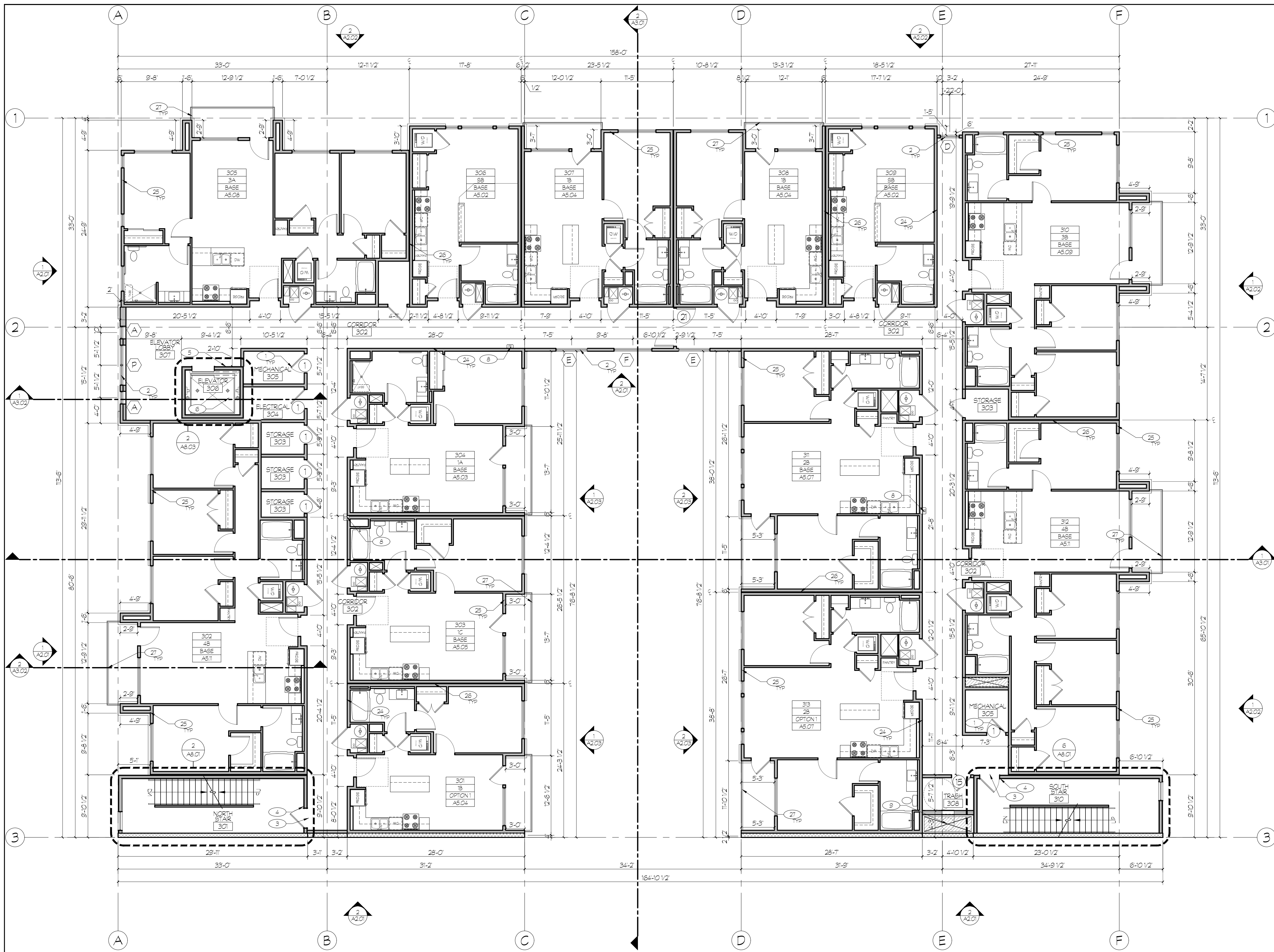
DATE REVISIONS

Sheet Title  
 Overall Floor Plan Level 2

Sheet Number  
 A.1.03

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**1 OVERALL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 (24" x 36")

LEVEL 3

**NORTH**

**OVERALL FLOOR PLAN KEYED NOTES:**

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**CENTRAL STATION**  
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 SALT LAKE CITY, UT

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**Date**  
 APRIL 5, 2019

**GENERAL NOTES:**

DATE \_\_\_\_\_ REVISIONS \_\_\_\_\_

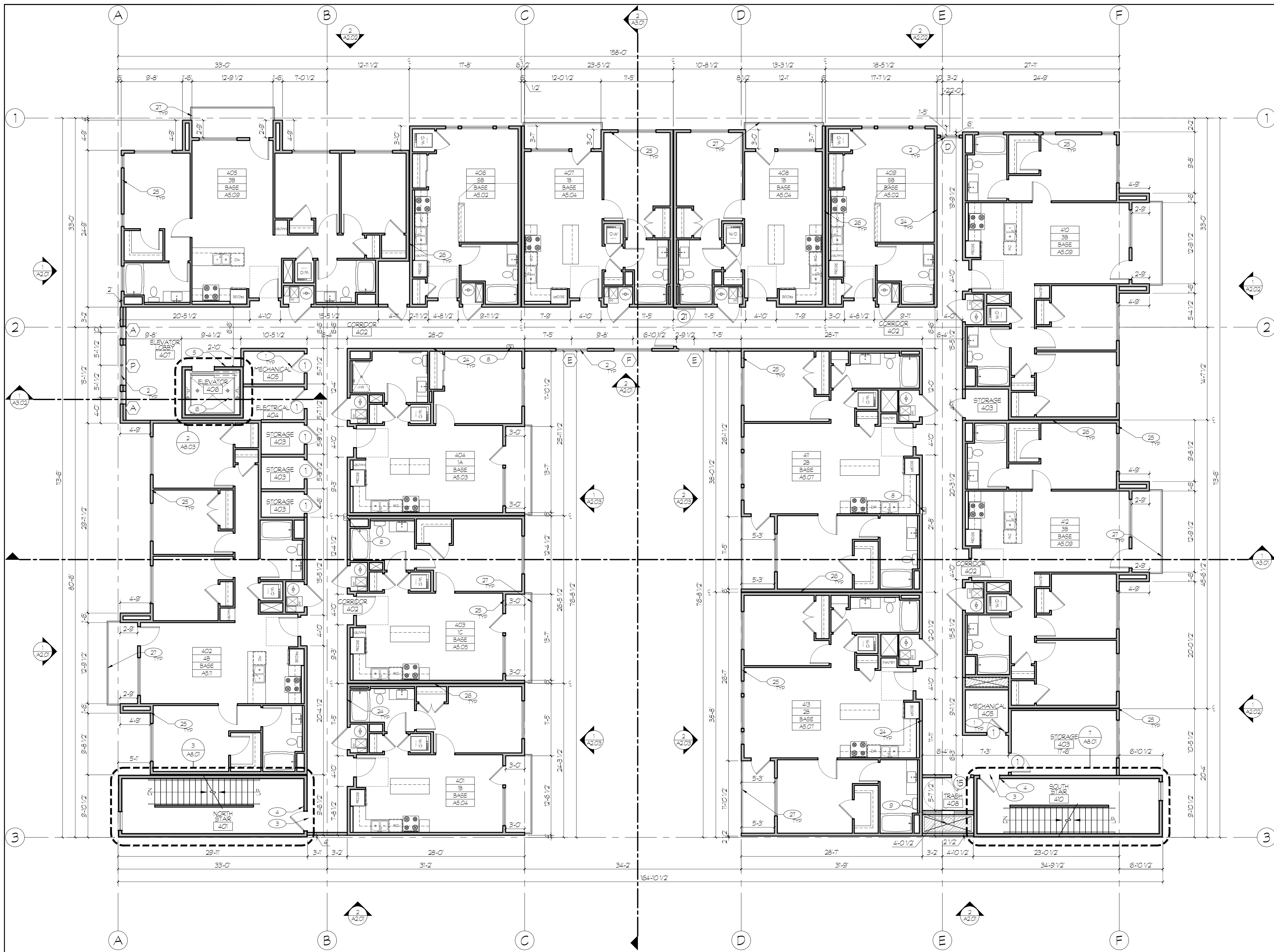
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**Sheet Title**  
 Overall Floor Plan Level 3

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**Sheet Number**  
 A1.04





1 OVERALL FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 (24" x 36")  
 LEVEL 4  
 NORTH

- OVERALL FLOOR PLAN KEYED NOTES:**
- SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A8.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES AND STYLES ON SHEET A8.02. PROVIDE AND INSTALL ALL REQUIRED FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC A117.1 IS TO BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY (BC SECTION 101.3).
  - FLOOR LEVEL IDENTIFICATION SIGNS IN TACTILE CHARACTERS COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL AND BE ADJACENT TO THE DOOR LEADING TO THE CORRIDOR. SEE DETAIL 3.01.01. BC 1022.81
  - G.C. TO PROVIDE TACTILE EXIT SIGNS WHICH READ "IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE STAIRS" IN COMPLIANCE WITH SECTION 3002.3 OF THE IBC.
  - SCHINDLER 3300 XL MACHINE ROOM-LESS PASSENGER ELEVATOR (3500 & 4000 LB CAPACITY AND 200FPM SPEED) WITH STAINLESS STEEL DOOR AND CAB (8'-0" TALL) INSTALLED BY ELEVATOR MANUFACTURER. COORDINATE WITH MANUFACTURER ELECTRICAL, MECHANICAL, AND HOIST REQUIREMENTS. SEE ELECTRICAL AND MECHANICAL DRAWINGS. ELEVATOR CAR SHALL ACCOMMODATE A 24-INCH BY 64-INCH AMBLANCE STRETCHER IN THE HORIZONTAL OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME. BC SECTION 3002.4
  - FOUNDATION WALLS AT ELEVATOR PIT PER STRUCTURAL DRAWINGS. SEE DETAIL 12.01.02 FOR CONTINUOUS WATERPROOFING AT EXTERIOR FACE BELOW GRADE. LOCATE BUCKET IN CORNER OF PIT FOR FUTURE SUMP PUMP.
  - FIRE EXTINGUISHER CABINET. SEE DETAIL 1.01.01
  - VERIFY OPENING SIZE AND DETAILS WITH TRASH CHUTE MANUFACTURER. TRASH CHUTE OPENINGS TO BE PROTECTED WITH 90 MIN FIRE RATED SELF-CLOSING DOORS AND BE FIRE SPRINKLED PER BC 903.21.2. TRASH CHUTE TO BE PROVIDED WITH SANITIZING SYSTEM.
  - 6" CONCRETE FILLED STEEL PIPE BOLLARDS MIN 3'-0" HIGH AND 3'-0" DEEP IN CONCRETE FOOTING (SURFACE MOUNTED WHEN IN PIT DECK)
  - HIGH SPEED ALBANY GARAGE DOOR. PROVIDE 5 GARAGE DOOR OPENERS. GARAGE DOOR TO BE OPERATED BY BA (BARCODE AUTOMATION INC) DUAL BEAM DECAL SCANNER BA-440 OR APPROVED EQUAL. PROVIDE 5000 MINIMUM STOCKERS THAT ARE BLACK ON BLACK. EXITING GARAGE TO BE CONTROLLED BY MOTION SENSOR.
  - CONCRETE COLUMNS TO HAVE SMOOTH ARCHITECTURAL FINISH WITH CHAMFERED CORNERS.
  - A VERTICAL CLEARANCE OF 126" AT HATCHED AREA AROUND LOADING BERTH (INDICATED WITH GRAY SHADING)
  - PROVIDE SIGNAGE PER BC 111 AND SECTION 502.7 OF ICC A117.09 FOR ACCESSIBLE PARKING A MINIMUM OF 60' ABOVE THE SURFACE OF PARKING. VAN ACCESSIBLE PARKING SHALL BE MARKED AS VAN ACCESSIBLE. SEE DETAIL 8.01.01
  - CONDENSING UNIT ON WALL MOUNTED HANGAR
  - CONCRETE FOUNDATION WALL WITH SMOOTH ARCHITECTURAL FINISH ABOVE GRADE. SEE STRUCTURAL DRAWINGS. REVEAL PER DETAIL 10.01.02
  - STEEL STUD FRAMING WITH DENSGLASS SHEATHING AT ALL LEVEL 1 LOCATIONS. SEE STRUCTURAL FOR GAUGE AND SPACING
  - SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF SIDEWALK. MAXIMUM 2% SLOPE AT EXTERIOR DOOR LANDINGS IN THE DIRECTION OF TRAVEL.
  - ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.
  - GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.
  - VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND NUMBER OF BOXES. SEE DETAIL 1.01.02
  - COURTYARD FINISHED PER LANDSCAPE DRAWINGS
  - PT DECK TO STEP IN COURTYARD. SEE DETAILS 6-8.01.07 AND STRUCTURAL DRAWINGS
  - PAINTED GYP BOARD WALL FINISH. PAINT COLOR AND BRAND TO BE OWNER SELECTED. SEE OWNER'S SPEC AND INTERIOR DESIGN DRAWINGS.
  - EXTERIOR 2 HOUR RATED ASSEMBLY. SEE STRUCTURAL DRAWINGS. SEE DETAIL 2.01.01
  - TENANT DEMISING WALLS. SEE SHEETS F103-F108. SEE DETAIL 5-6.01.01
  - PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAIL 3.01.04
  - ALL WALLS SEPARATING CONDITIONED FROM UNCONDITIONED SPACE PROVIDE 1/2" AIR GAP BETWEEN FRAMING AND CONCRETE. INSULATE & MAINTAIN GAP. PROVIDE VAPOR BARRIER ON INTERIOR SIDE.
  - 6400 FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 1-2.01.04
  - UNIT BALCONIES AND PATIOS OVER PT DECK SLOPED MIN 1/4" PER FOOT FOR DRAINAGE. SEE PLUMBING DRAWINGS FOR LOCATIONS AND PIPING OF UNIT BALCONY DRAINS.
  - CRICKETS AS NECESSARY FOR PROPER ROOF DRAINAGE.
  - CLASS B SINGLE PLY ENERGY STAR COMPLIANT TPO ROOF MEMBRANE (60 ML WITH 20 YEAR WARRANTY) OVER SCHEDULED SHEATHING AND BOX TRUSSES. SLOPE TOWARDS ROOF DRAINS. SEE STRUCTURAL AND PLUMBING DRAWINGS AND DETAIL 1.01.02. SEE DETAILS 3-4.01.08 FOR PIPE PENETRATIONS
  - ROOF DRAINS. PRIMARY ROOF DRAIN SHALL CONNECT TO STORM SEWER. SECONDARY DRAIN SHALL DAYLIGHT THROUGH BUILDING WALL AT MAIN FLOOR LEVEL WITH STANDARD BRASS FITTING. SEE PLUMBING DRAWINGS. SEE DETAILS 1-2.01.08
  - CONDENSING UNIT ON RUBBER PAD ON WOOD FRAMED PLATFORM. SLOPE PLATFORM FOR DRAINAGE ONTO ROOF. SEE MECHANICAL AND PLUMBING DRAWINGS. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAIL.
  - RUBBER ROOFTOP TRAFFIC PAD SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
  - ROOF PARAPET. SEE PARAPET ROOF DETAILS 9-11.01.01. SEE STRUCTURAL DRAWINGS FOR ASSOCIATED LATERAL BRACING AND DETAILS (TYP)
  - VERIFY HEIGHT OF ELEVATOR SHAFT OVERLUN WITH ELEVATOR MANUFACTURER
  - SLOPE ELEVATOR AND STAIR TOWER ROOFS TO DRAIN TO GUTTER AND DOWNSPOUT ONTO SPLASH BLOCK AT LOWER ROOF

- GENERAL NOTES:**
- ALL BATHROOMS SHALL BE ADAPTABLE. GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIXTURE LOCATIONS, SOLID BLOCKING AND CLEAR FLOOR SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2008 IBC AND 1117.03 AND THE REQUIREMENTS OF SPECIFICATION A' BATHROOM OF THE FAIR HOUSING ACT DESIGN MANUAL.
  - ALL ENTRANCES TO UNITS SHALL BE ON AN ACCESSIBLE ROUTE AND PROVIDE DISABLED ACCESS TO THE UNITS. FLOOR LEVEL, OUTSIDE DOORWAYS SHALL BE NO MORE THAN 1/2" BELOW INSIDE FLOOR LEVEL AND SHALL NOT SLOPE MORE THAN 1/8" PER FOOT.
  - ALL ENTRY DOORS SHALL BE 36" WIDE, HAVE LEVER TYPE LATCHES AND HAVE THRESHOLDS NO HIGHER THAN 1/2" WHICH ARE BEVELED WITH A SLOPE NO GREATER THAN 1/2". SEE DETAIL 3.01.01.
  - CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" MINIMUM, EXCEPT AT DOORS. CLEAR WIDTH OF THE ACCESSIBLE ROUTE WITH TURNS AROUND AN OBSTRUCTION LESS THAN 48" WIDE SHALL HAVE A CLEAR SPACE OF 42" x 48".
  - ELECTRICAL SWITCHES, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE NO OPERABLE PARTS WHICH ARE HIGHER THAN 48" NOR LESS THAN 15" A.F.F.
  - ALL UNITS ARE TO BE PROVIDED WITH SOLID BLOCKING BETWEEN STUDS IN THE BATHROOM WALLS BEHIND THE TOILET AND AROUND THE TUB AND BETWEEN THE WALL & THE BACK SURFACE OF THE TUB/SHOWER SPLASH FOR THE POSSIBLE FUTURE INSTALLATION OF GRAB BARS. (POSSIBLE FUTURE GRAB BAR AT THE SIDE OF THE TOILET WOULD BE EITHER A WALL-TO-FLOOR TYPE OR FOLD-DOWN TYPE). SEE ENLARGED BATHROOM PLANS.
  - A CLEAR FLOOR SPACE AT LEAST 30" x 48" THAT ALLOWS EITHER A FORWARD OR A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT ALL APPLIANCES IN THE KITCHEN, INCLUDING THE RANGE/COOKTOP, OVEN, REFRIGERATOR, DISHWASHER AND OR COMPACTOR. THE LOCATION OF CONTROLS FOR RANGE/COOKTOPS SHALL NOT REQUIRE REACHING ACROSS BURNERS.
  - THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP FORWARD APPROACH.
  - PROVIDE SOLID 2X FIRE BLOCKING AT ALL CEILING AND FLOOR LEVELS, TOPS AND BOTTOMS OF STAIRWAYS, AND AT DROPPED CEILING LOCATIONS.

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**CENTRAL STATION**  
 200 SOUTH 549 WEST  
 SALT LAKE CITY, UT

Date  
 APRIL 5, 2019

DATE REVISIONS

Sheet Title  
 Overall Floor Plan Level 4

Sheet Number  
 A.1.05

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE THE INTELLECTUAL PROPERTY OF ARCHITECTURE BELGIQUE, INC. AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING, BUT NOT LIMITED TO, COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ARCHITECTURE BELGIQUE, INC.



**CENTRAL STATION**  
200 SOUTH 549 WEST  
SALT LAKE CITY, UT

Date  
APRIL 5, 2019

Sheet Title

Overall Floor Plan Level 5

Sheet Number

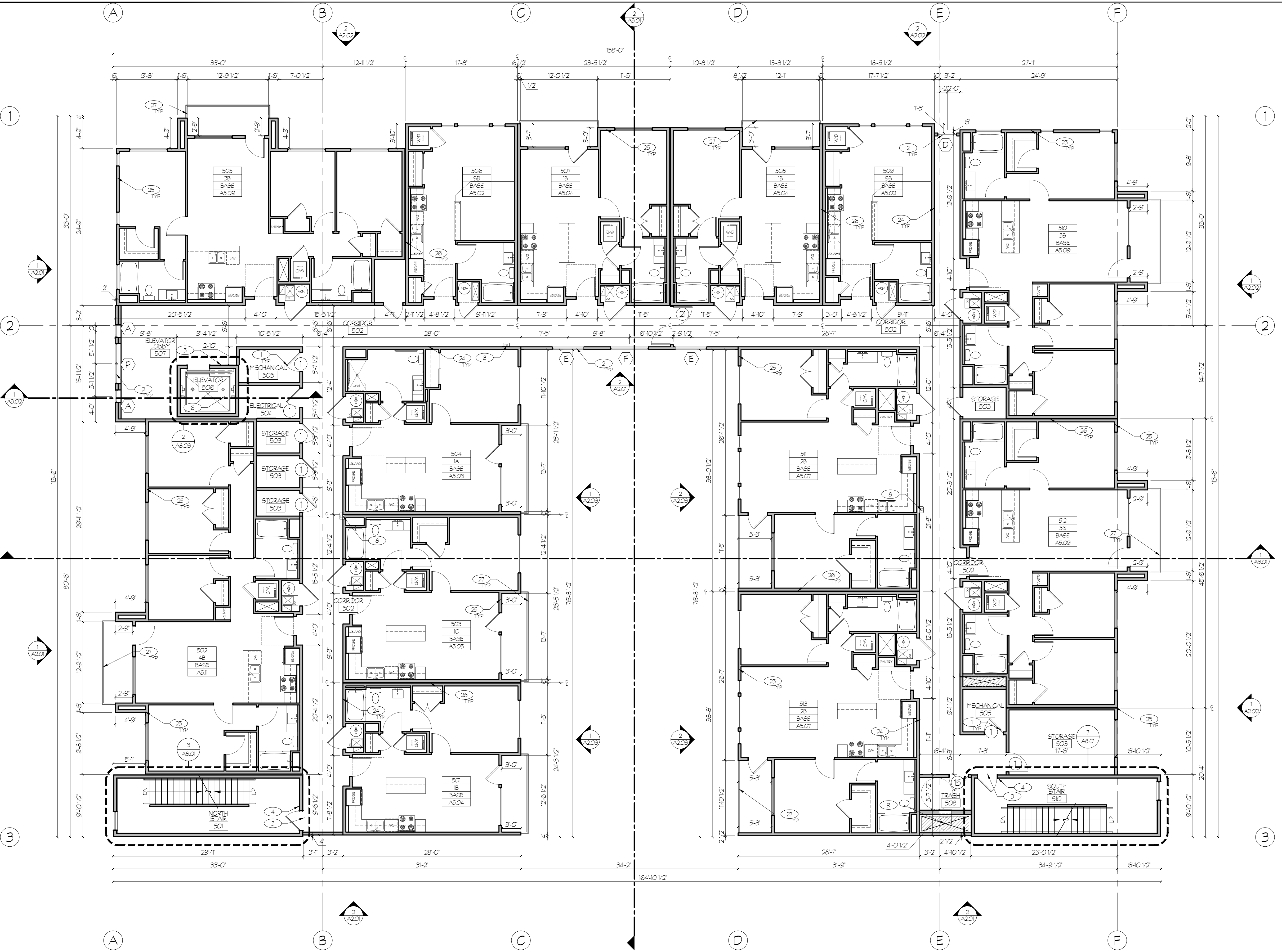
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**OVERALL FLOOR PLAN KEYED NOTES:**

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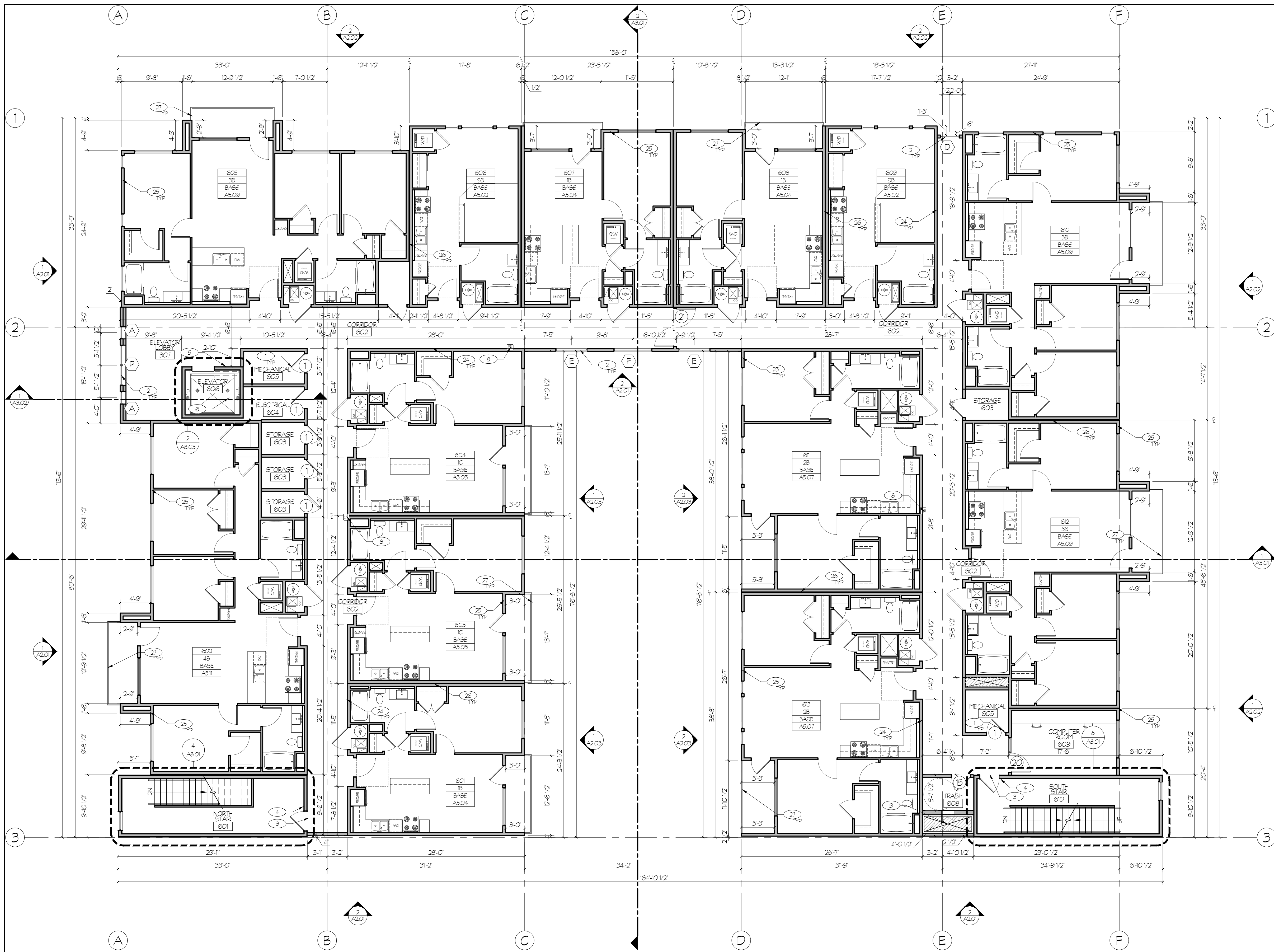
**1 OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
(24" x 36")

LEVEL 5

**NORTH**

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1 OVERALL FLOOR PLAN  
 A1.07 SCALE: 1/8" = 1'-0"  
 (24" x 36") LEVEL 6  
 NORTH

- OVERALL FLOOR PLAN KEYED NOTES:**
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  - ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.
  - GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.
  - VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND NUMBER OF BOXES. SEE DETAIL 1.01.02.
  - COURTYARD FINISHED PER LANDSCAPE DRAWINGS.
  - PT DECK TO STEP IN COURTYARD. SEE DETAILS 6-8.01.07 AND STRUCTURAL DRAWINGS.
  - PAINTED GYP BOARD WALL FINISH. PAINT COLOR AND BRAND TO BE OWNER SELECTED. SEE OWNER'S SPEC AND INTERIOR DESIGN DRAWINGS.
  - EXTERIOR 2 HOUR RATED ASSEMBLY. SEE STRUCTURAL DRAWINGS. SEE DETAIL 2.01.01.
  - TENANT DEMISING WALLS. SEE SHEETS F103-F109. SEE DETAIL 5-6.01.01.
  - PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAIL 3.01.04.
  - ALL WALLS SEPARATING CONDITIONED FROM UNCONDITIONED SPACE PROVIDE 1/2" AIR GAP BETWEEN FRAMING AND CONCRETE. INSULATE & MAINTAIN GAP. PROVIDE VAPOR BARRIER ON INTERIOR SIDE.
  - 6x60 FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 1-2.01.04.
  - UNIT BALCONIES AND PATIOS OVER PT DECK SLOPED MIN 1/4" PER FOOT FOR DRAINAGE. SEE PLUMBING DRAWINGS FOR LOCATIONS AND PIPING OF UNIT BALCONY DRAINS.
  - CRICKETS AS NECESSARY FOR PROPER ROOF DRAINAGE.
  - CLASS B SINGLE PLY ENERGY STAR COMPLIANT TPO ROOF MEMBRANE (60 ML WITH 20 YEAR WARRANTY) OVER SCHEDULED SHEATHING AND BOV TRUSSES. SLOPE TOWARDS ROOF DRAINS. SEE STRUCTURAL AND PLUMBING DRAWINGS AND DETAIL 1.01.02. SEE DETAILS 3-4.01.08 FOR PIPE PENETRATIONS.
  - ROOF DRAINS. PRIMARY ROOF DRAIN SHALL CONNECT TO STORM SEWER. SECONDARY DRAIN SHALL DAYLIGHT THROUGH BUILDING WALL AT MAIN FLOOR LEVEL WITH STANDARD BRASS FITTING. SEE PLUMBING DRAWINGS. SEE DETAILS 1-2.01.08.
  - CONDENSING UNIT ON RUBBER PAD ON WOOD FRAMED PLATFORM. SLOPE PLATFORM FOR DRAINAGE ONTO ROOF. SEE MECHANICAL AND PLUMBING DRAWINGS. SEE STRUCTURAL DRAWINGS FOR FRAMING DETAIL.
  - RUBBER ROOFTOP TRAFFIC PAD SYSTEM INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  - ROOF PARAPET. SEE PARAPET ROOF DETAILS 9-11.01.01. SEE STRUCTURAL DRAWINGS FOR ASSOCIATED LATERAL BRACING AND DETAILS (TYP).
  - VERIFY HEIGHT OF ELEVATOR SHAFT OVERLUN WITH ELEVATOR MANUFACTURER.
  - SLOPE ELEVATOR AND STAIR TOWER ROOFS TO DRAIN TO GUTTER AND DOWNSPOUT ONTO SPLASH BLOCK AT LOWER ROOF.

- GENERAL NOTES:**
- ALL BATHROOMS SHALL BE ADAPTABLE. GENERAL CONTRACTOR SHALL VERIFY THAT ALL FIXTURE LOCATIONS, SOLID BLOCKING AND CLEAR FLOOR SPACES SHALL MEET THE MINIMUM REQUIREMENTS OF THE 2008 IBC AND 1117.03 AND THE REQUIREMENTS OF SPECIFICATION A' BATHROOM OF THE FAIR HOUSING ACT DESIGN MANUAL.
  - ALL ENTRANCES TO UNITS SHALL BE ON AN ACCESSIBLE ROUTE AND PROVIDE DISABLED ACCESS TO THE UNITS. FLOOR LEVEL, OUTSIDE DOORWAYS SHALL BE NO MORE THAN 1/2" BELOW INSIDE FLOOR LEVEL AND SHALL NOT SLOPE MORE THAN 1/8" PER FOOT.
  - ALL ENTRY DOORS SHALL BE 36" WIDE, HAVE LEVER TYPE LATCHES AND HAVE THRESHOLDS NO HIGHER THAN 1/2" WHICH ARE BEVELED WITH A SLOPE NO GREATER THAN 1/2". SEE DETAIL 3.01.01.
  - CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36" MINIMUM, EXCEPT AT DOORS. CLEAR WIDTH OF THE ACCESSIBLE ROUTE WITH TURNS AROUND AN OBSTRUCTION LESS THAN 48" WIDE SHALL HAVE A CLEAR SPACE OF 42" x 48".
  - ELECTRICAL SWITCHES, OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE NO OPERABLE PARTS WHICH ARE HIGHER THAN 48" NOR LESS THAN 15" A.F.F.
  - ALL UNITS ARE TO BE PROVIDED WITH SOLID BLOCKING BETWEEN STUDS IN THE BATHROOM WALLS BEHIND THE TOILET AND AROUND THE TUB AND BETWEEN THE WALL & THE BACK SURFACE OF THE TUB/SHOWER SPLASH FOR THE POSSIBLE FUTURE INSTALLATION OF GRAB BARS. (POSSIBLE FUTURE GRAB BAR AT THE SIDE OF THE TOILET WOULD BE EITHER A WALL-TO-FLOOR TYPE OR FOLD-DOWN TYPE). SEE ENLARGED BATHROOM PLANS.
  - A CLEAR FLOOR SPACE AT LEAST 30" x 48" THAT ALLOWS EITHER A FORWARD OR A PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR SHALL BE PROVIDED AT ALL APPLIANCES IN THE KITCHEN, INCLUDING THE RANGE/COOKTOP, OVEN, REFRIGERATOR, DISHWASHER AND OR COMPACTOR. THE LOCATION OF CONTROLS FOR RANGE/COOKTOPS SHALL NOT REQUIRE REACHING ACROSS BURNERS.
  - THE FINISHED FLOOR IS TO CONTINUE AND THE CABINETRY AND WALL SURFACES FINISHED UNDER CABINETS WITH REMOVABLE DOORS FOR HANDICAP FORWARD APPROACH.
  - PROVIDE SOLID 2X FIRE BLOCKING AT ALL CEILING AND FLOOR LEVELS, TOPS AND BOTTOMS OF STAIRWAYS, AND AT DROPPED CEILING LOCATIONS.

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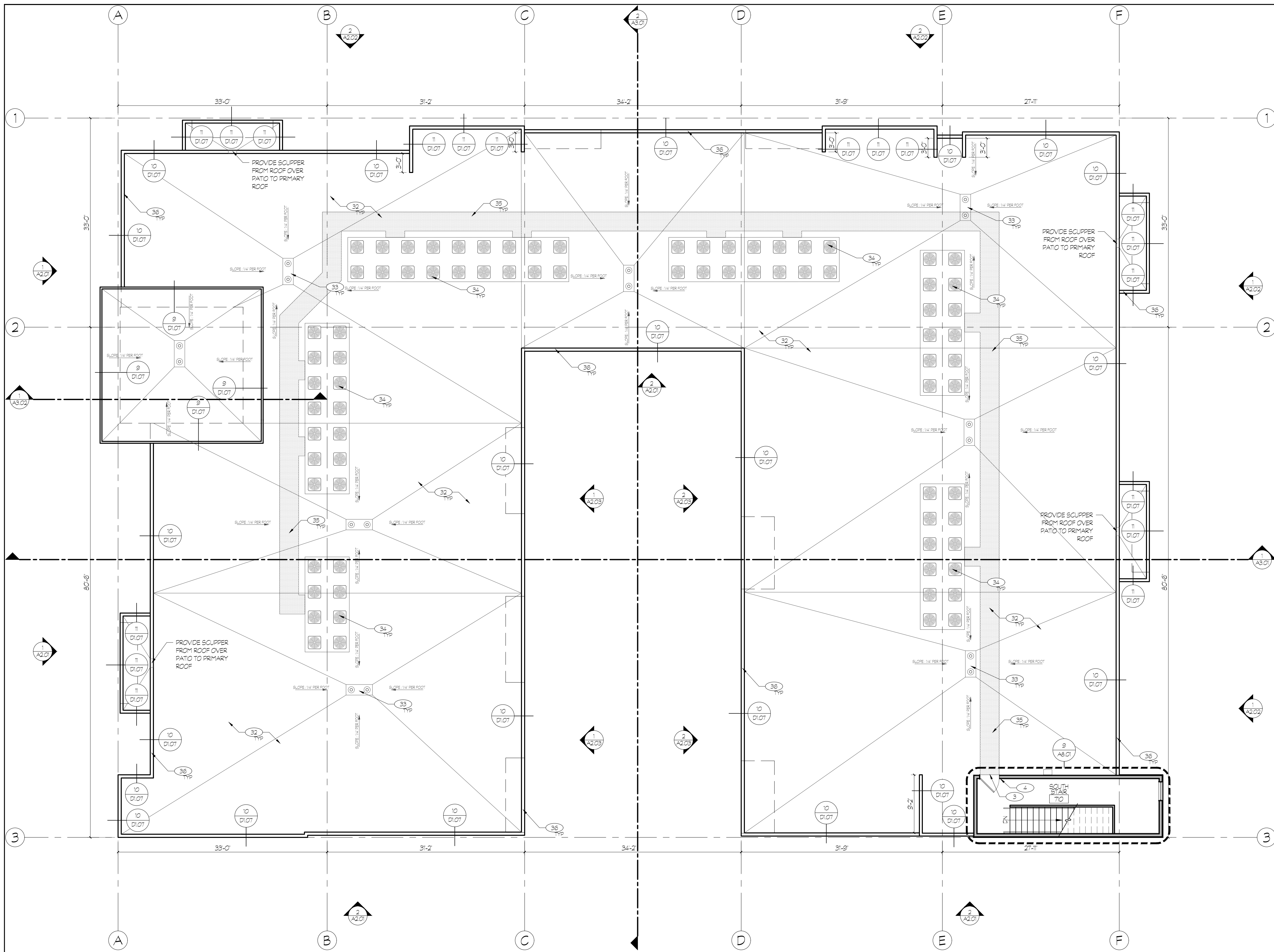
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DATE REVISIONS

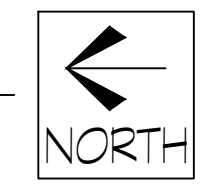
Sheet Title  
 Overall Floor Plan Level 6

Sheet Number  
 A1.07





**1 OVERALL ROOF PLAN**  
 A1.08 SCALE: 1/8" = 1'-0"  
 (24' x 36')



**2 OVERALL ROOF PLAN**  
 A1.08 SCALE: 1/8" = 1'-0"  
 (24' x 36')



- OVERALL FLOOR PLAN KEYED NOTES:**
- SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED FLASHING PER MANUFACTURER'S RECOMMENDATIONS.
  - TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC A117 IS TO BE PROVIDED ADJACENT TO EACH DOOR TO AN EXPRESS STAIRWAY (BC SECTION 101.3).
  - FLOOR LEVEL IDENTIFICATION SIGNS COMPLYING WITH ICC A117.1 SHALL BE LOCATED AT EACH FLOOR LEVEL ADJACENT TO THE DOOR LEADING TO THE CORRIDOR. SEE DETAIL 3/D1.01. (BC 1022.81)
  - G.C. TO PROVIDE TACTILE EXIT SIGNS WHICH READ "IN CASE OF FIRE, ELEVATORS ARE OUT OF SERVICE. USE STAIRS" IN COMPLIANCE WITH SECTION 3002.3 OF THE IBC.
  - SCHINDLER 3300 XL MACHINE-LESS PASSENGER ELEVATOR (3500 & 4000 LB CAPACITY AND 200FPM SPEED) WITH STAINLESS STEEL DOOR AND CAB(8'-0" TALL) INSTALLED BY ELEVATOR MANUFACTURER. COORDINATE WITH MANUFACTURER ELECTRICAL, MECHANICAL AND HOIST REQUIREMENTS. SEE ELECTRICAL AND MECHANICAL DRAWINGS. ELEVATOR CAR SHALL ACCOMMODATE A 24-INCH BY 64-INCH AMBULANCE STRETCHER IN THE HORIZONTAL OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) THE SYMBOL SHALL NOT BE LESS THAN 3-INCHES HIGH AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME. (BC SECTION 3002.4)
  - FOUNDATION WALLS AT ELEVATOR PIT PER STRUCTURAL DRAWINGS. SEE DETAIL 12/D1.02 FOR CONTINUOUS WATERPROOFING AT EXTERIOR FACE BELOW GRADE. LOCATE BUCKET IN CORNER OF PIT FOR FUTURE SLUMP PUMP.
  - FIRE EXTINGUISHER CABINET. SEE DETAIL 1/D1.01
  - VERIFY OPENING SIZE AND DETAILS WITH TRASH CHUTE MANUFACTURER. TRASH CHUTE OPENINGS TO BE PROTECTED WITH 90 MIN FIRE RATED SELF-CLOSING DOORS AND BE FIRE SPRINKLED PER BC 903.212. TRASH CHUTE TO BE PROVIDED WITH SANITIZING SYSTEM.
  - 6" CONCRETE FILLED STEEL PIPE BOLLARDS MIN 3'-0" HIGH AND 3'-0" DEEP IN CONCRETE FOOTING (SURFACE MOUNTED WHEN IN PIT DECK)
  - HIGH SPEED ALBANY GARAGE DOOR. PROVIDE 5 GARAGE DOOR OPENERS. GARAGE DOOR TO BE OPENED BY BA (BARCODE AUTOMATION INC.) DUAL BEAM DECAL SCANNER. BA-440 OR APPROXIMATELY EQUAL. PROVIDE MIN 150 TOTAL STOCKERS THAT ARE BLACK ON BLACK. EXITING GARAGE TO BE CONTROLLED BY MOTION SENSOR.
  - CONCRETE COLUMNS TO HAVE SMOOTH ARCHITECTURAL FINISH WITH CHAMFERED CORNERS.
  - A VERTICAL CLEARANCE OF 126" AT HATCHED AREA AROUND LOADING BERTH (INDICATED WITH GRAY SHADING)
  - PROVIDE SIGNAGE PER BC 111 AND SECTION 502.7 OF ICC A117-09 FOR ACCESSIBLE PARKING A MINIMUM OF 60" ABOVE THE SURFACE OF PARKING. VAN ACCESSIBLE PARKING SHALL BE MARKED AS VAN ACCESSIBLE. SEE DETAIL 8/D1.01
  - CONDENSING UNIT ON WALL MOUNTED HANGAR.
  - CONCRETE FOUNDATION WALL WITH SMOOTH ARCHITECTURAL FINISH ABOVE GRADE. SEE STRUCTURAL DRAWINGS. REVEAL PER DETAIL 10/D1.02
  - STEEL STUD FRAMING WITH DENSGLASS SHEATHING AT ALL LEVEL 1 LOCATIONS. SEE STRUCTURAL FOR GAUGE AND SPACING.
  - SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF SIDEWALK. MAXIMUM 2% SLOPE AT EXTERIOR DOOR LANDINGS IN THE DIRECTION OF TRAVEL.
  - ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS.
  - GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS.
  - VERIFY MAIL ROOM REQUIREMENTS WITH US POST OFFICE FOR EXACT CONFIGURATION AND NUMBER OF BOXES. SEE DETAIL 1/D1.02
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  - GACO FLUID APPLIED DECK MEMBRANE AT UNIT BALCONIES, PATIOS OVER PT DECK AND COURTYARD OVER PT DECK. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAILS 1-2/D1.04.
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**CENTRAL STATION**  
 200 SOUTH 549 WEST  
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**Date**  
 APRIL 5, 2019

DATE	REVISIONS

**Sheet Title**  
 Overall Roof Plans

**Sheet Number**  
 A1.08

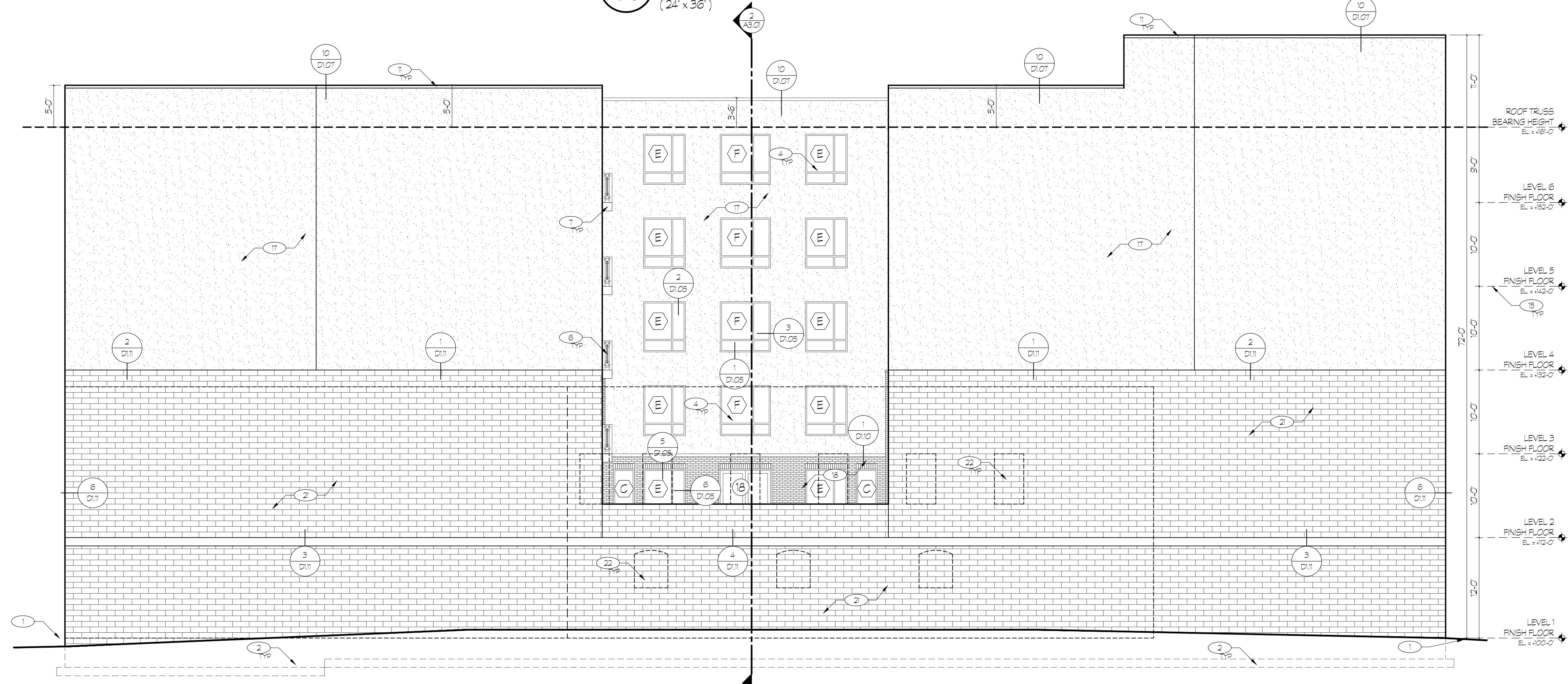


**BUILDING ELEVATION KEYED NOTES:**

- 1 SLOPE EXTERIOR FINISH GRADE AWAY FROM PERIMETER OF BUILDING FOR PROPER DRAINAGE (TYP)
- 2 STEPPED FOOTINGS AND FOUNDATION WALLS AS REQUIRED
- 3 SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES, AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURERS RECOMMENDATIONS.
- 4 SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES, AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED WINDOW FLASHING PER MANUFACTURERS RECOMMENDATIONS.
- 5 COLORED ANODIZED ALUMINUM STOREFRONT. SEE DOOR AND WINDOW SCHEDULE A6.01+A6.02. PROVIDE COLOR SAMPLES FOR APPROVAL.
- 6 PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAILS 1-3/01.04
- 7 VENTED ALUMINUM SOFFIT AND RIBBED FASCIA AT BALCONIES SEE DETAIL 2/01.04. PROVIDE CONTINUOUS PIECE FOR BALCONY FASCIA.
- 8 GALVANIZED STEEL VENT COVER TO BE PRIMED AND PAINTED TO MATCH RESPECTIVE ELEVATION MATERIAL. SEE MECHANICAL DRAWINGS. VENT 6TH FLOOR UNITS TO THE ROOF. SEE DETAIL 6/01.08
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- 10 GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS
- 11 PRE-FINISHED METAL PARAPET WALL CAP. COLOR TBD. PROVIDE SAMPLES FOR APPROVAL.
- 12 BUILDING SIGNAGE TO BE INSTALLED BY LICENSED CONTRACTOR UNDER SEPARATE PERMIT. VERIFY SIGNAGE BUDGET AND DESIGN WITH OWNER.
- 13 ENTRY AWNING. SEE DETAIL 7/01.11
- 14 INTAKE/EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR EXACT SIZES.
- 15 ELEVATIONS ARE TO TOP OF SLAB, TOP OF SHEATHING OR ROOF TRUSS BEARING HEIGHT. SEE DETAIL 1/01.02
- 16 SMOOTH ARCHITECTURAL FINISH @ ALL EXPOSED EXTERIOR CONCRETE. REVEAL IN CONCRETE AS SHOWN. SEE DETAIL 10/01.02
- 17 THREE-COAT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM (7/8" MIN THICKNESS) ON SCHEDULED SHEATHING OVER SCHEDULED FRAMING. SAND FINISH. PROVIDE COLOR SAMPLE PER COLOR BOARD. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 18 RUNNING BOND KING BRICK. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 19 RUNNING BOND KING THIN BRICK. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 20 7.2 MBSI CORRUGATED METAL SIDING (26 GAUGE WITH KYNAR FINISH) INSTALL PER MANUFACTURERS RECOMMENDATIONS. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 21 CMU BLOCK.
- 22 APPROXIMATE LOCATION OF EXISTING WINDOWS FROM NEIGHBORING PROPERTY. FIELD VERIFY.



**1 BUILDING ELEVATION NORTH**  
A2.01 SCALE: 1/8" = 1'-0"  
(24' x 36')



**2 BUILDING ELEVATION WEST**  
A2.01 SCALE: 1/8" = 1'-0"  
(24' x 36')

**CENTRAL STATION**  
200 SOUTH 549 WEST  
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Date  
APRIL 5, 2019

DATE	REVISIONS

**Sheet Title**  
North and West Building Elevations

**Sheet Number**  
A 2.01

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A2.02 SCALE: 1/8"=1'-0"  
(24' x 36')



2 BUILDING ELEVATION EAST  
A2.02 SCALE: 1/8"=1'-0"  
(24' x 36')

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South and East Building Elevations

Sheet Number  
A 2.02

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**1 BUILDING ELEVATION COURTYARD**  
 A2.03 SCALE: 1/8" = 1'-0"  
 (24' x 36') (LOOKING NORTH)



**2 BUILDING ELEVATION COURTYARD**  
 A2.03 SCALE: 1/8" = 1'-0"  
 (24' x 36') (LOOKING SOUTH)

**BUILDING ELEVATION KEYED NOTES:**

- 1 SLOPE EXTERIOR FINISH GRADE AWAY FROM PERIMETER OF BUILDING FOR PROPER DRAINAGE (TYP)
- 2 STEPPED FOOTINGS AND FOUNDATION WALLS AS REQUIRED
- 3 SCHEDULED DOOR. SEE DOOR SCHEDULE, TYPES, AND STYLES ON SHEET A6.01. PROVIDE AND INSTALL ALL REQUIRED DOOR FLASHING PER MANUFACTURERS RECOMMENDATIONS.
- 4 SCHEDULED WINDOW. SEE WINDOW SCHEDULE, TYPES, AND STYLES ON SHEET A6.02. PROVIDE AND INSTALL ALL REQUIRED WINDOW FLASHING PER MANUFACTURERS RECOMMENDATIONS.
- 5 COLORED ANODIZED ALUMINUM STOREFRONT. SEE DOOR AND WINDOW SCHEDULE A6.01+A6.02. PROVIDE COLOR SAMPLES FOR APPROVAL.
- 6 PRE-MANUFACTURED POWDER COATED STEEL DECK GUARDRAIL (42" HIGH) PER CODE (TYP). SEE DETAILS 1-3/01.04
- 7 VENTED ALUMINUM SOFFIT AND RIBBED FASCIA AT BALCONIES SEE DETAIL 2/01.04. PROVIDE CONTINUOUS PIECE FOR BALCONY FASCIA.
- 8 GALVANIZED STEEL VENT COVER TO BE PRIMED AND PAINTED TO MATCH RESPECTIVE ELEVATION MATERIAL. SEE MECHANICAL DRAWINGS. VENT 6TH FLOOR UNITS TO THE ROOF. SEE DETAIL 6/01.06
- 9 ELECTRICAL METER LOCATION. COORDINATE WITH ELECTRICAL DRAWINGS
- 10 GAS METER LOCATION. COORDINATE WITH PLUMBING DRAWINGS
- 11 PRE-FINISHED METAL PARAPET WALL CAP. COLOR TBD. PROVIDE SAMPLES FOR APPROVAL.
- 12 BUILDING SIGNAGE TO BE INSTALLED BY LICENSED CONTRACTOR UNDER SEPARATE PERMIT. VERIFY SIGNAGE BUDGET AND DESIGN WITH OWNER.
- 13 ENTRY AWNING. SEE DETAIL 7/01.11
- 14 INTAKE/EXHAUST LOUVER. SEE MECHANICAL DRAWINGS FOR EXACT SIZES.
- 15 ELEVATIONS ARE TO TOP OF SLAB, TOP OF SHEATHING OR ROOF TRUSS BEARING HEIGHT. SEE DETAIL 1/01.02
- 16 SMOOTH ARCHITECTURAL FINISH @ ALL EXPOSED EXTERIOR CONCRETE. REVEAL IN CONCRETE AS SHOWN. SEE DETAIL 10/01.02
- 17 THREE-COAT STUCCO (HARD COAT) EXTERIOR VENEER SYSTEM (7/8" MIN THICKNESS) ON SCHEDULED SHEATHING OVER SCHEDULED FRAMING. SAND FINISH. PROVIDE COLOR SAMPLE PER COLOR BOARD. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 18 RUNNING BOND KING BRICK. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 19 RUNNING BOND KING THIN BRICK. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 20 7.2 MBSI CORRUGATED METAL SIDING (26 GAUGE WITH KYNAR FINISH) INSTALL PER MANUFACTURERS RECOMMENDATIONS. SEE DETAIL SHEETS FOR SPECIFIC APPLICATION.
- 21 CMU BLOCK.
- 22 APPROXIMATE LOCATION OF EXISTING WINDOWS FROM NEIGHBORING PROPERTY. FIELD VERIFY.

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**CENTRAL STATION**

200 SOUTH 549 WEST  
SALT LAKE CITY, UT

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**Date**  
APRIL 5, 2019

DATE	REVISIONS

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**Sheet Title**  
Interior Courtyard Building Elevations

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**Sheet Number**  
A 2.03

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## **ATTACHMENT C – APPLICATION NARRATIVES / ELEVATIONS**

The elevations are meant to indicate exterior building design and fenestration, and should not be interpreted to reflect final coloration of materials.



200 South elevation



200 South elevation





200 South and east (Woodbine) elevation



East (Woodbine) elevation



East (Woodbine) and South (rear) elevation



South (rear) elevation



South (rear) elevation



Architecture Belgique Inc  
7583 S Main St - Suite 100  
Midvale, Utah 84047

April 30, 2019

RE: Central Station Apartments – 549 West 200 S – Conditional Building & Site Design Application

To Whom it May Concern,

Gardner Batt LLC & Architecture Belgique Inc. are proposing the redevelopment of 549 W 200 S which is the current location of the Thomas Electric Co. A new 6-Story 65-unit apartment complex will be replacing the Thomas Electric Co. building. This complex will incorporate 34 Podium level parking stalls located on the ground level podium portion of the building behind street-facing common spaces and the leasing office. This apartment complex brings a much-needed affordable housing component to the neighborhood & city.

Per the GMU District zoning, a Planned Development Application is required in order to achieve planning commission approval. This narrative is intended to provide evidence that the planned Central Station Apartment complex achieves the standards of a planned development pursuant to zoning ordinance 21A.55.10. Below are the standards the new complex intends to meet:

1. 21A.55.10 Item C: The Central Station Apartments is a LIHTC approved community providing 52 affordable units and 13 market-rate units. The overall complex is comprised of studios, 1-bed, 2-bed, 3-bed & 4-bedroom units.
2. 21A.55.10 Item D: The Central Station Apartments is conveniently located next to the Old Greek Town Trax Station providing access to mass-transit & alleviating additional automobile traffic. In addition, the property will enhance a mid-block walk-way located along Woodbine St.
3. 21A.55.10 Item E: The Central Station Apartments will achieve both Enterprise Green Building Certification and Energy-Star Ratings
4. 21A.55.10 Item F: The Central Station Apartments supports the Master Plan goals by providing housing choice, increasing residential density to the downtown area, fosters equity and opportunity through affordable housing, and helps “connect” downtown by creating a more walkable block with immediate access to transit.

The Central Station Apartment complex was design with the GMU zoning guidelines in mind creating a recognizable community with convenient access to work & home while impressing a long-lasting, positive memory for all!



Architecture  
Belgique, Inc.

cont'd...

We appreciate the consideration of the planning commission and local communities and look forward to creating a valuable & beneficial development that enhances the area.

Preliminary plans & renderings have been attached below for your review. We look forward to your consideration of this project in its current form.

Regards,

A handwritten signature in black ink, appearing to read 'Eric Balls', with a long horizontal flourish extending to the right.

Eric Balls  
Project Manager – Architecture Belgique Inc.

CC: Guillaume Belgique; Mark Isaacs, Michael Batt, Tammy Clark.





Architecture Belgique Inc  
7583 S Main St - Suite 100  
Midvale, Utah 84047

April 30, 2019

RE: Central Station Apartments – 549 West 200 S – Planned Development Application

To Whom it May Concern,

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Preliminary plans & renderings have been attached below for your review. We look forward to your consideration of this project in its current form.

Regards,

Eric Balls  
Project Manager – Architecture Belgique Inc.

CC: Guillaume Belgique; Mark Isaacs, Michael Batt, Tammy Clark.

# **ATTACHMENT D – PUBLIC ART PROPOSAL**

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Architecture Belgique Inc  
7583 S Main St - Suite 100  
Midvale, Utah 84047

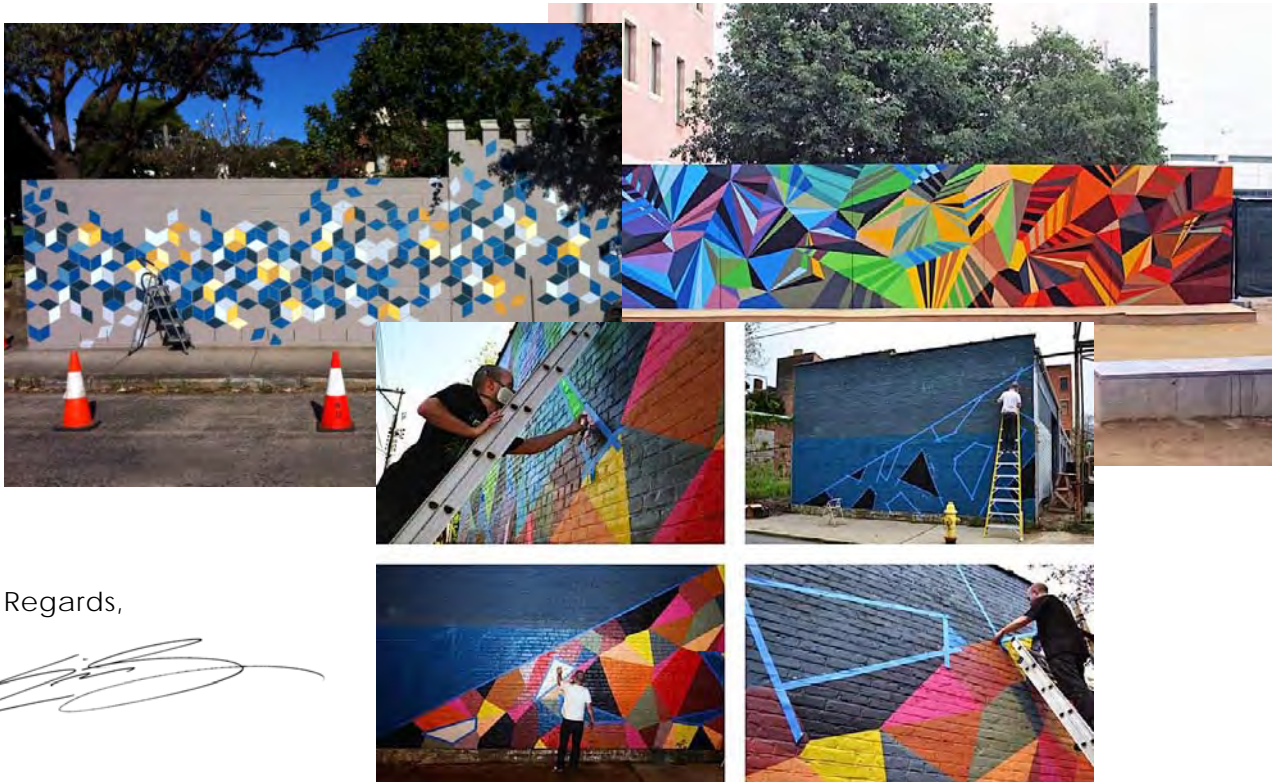
July 19, 2019

RE: Proposed Public Art for Central Station Apartments.

To Whom it may concern,

The Central Station Apartment development project located at 549 W 200 S Salt Lake City, UT is seeking approval for public art to adorn the lower level concrete structure of our building along Woodbine St. Our intent is to utilize the work of muralist Roger Whiting to provide the artwork located as stated above. Roger's website and portfolio can be found at [www.rogerwhiting.com](http://www.rogerwhiting.com).

Attached are some images of our ideas for an art piece that reflects some interior common space elements to connect indoor & outdoor spaces.



Regards,

A handwritten signature in black ink, appearing to read "Eric Balls".

Eric Balls  
Project Manager – Architecture Belgique Inc.

CC: Guillaume Belgique; Mark Isaac; Tammy Batt

## **ATTACHMENT E – ARTS COUNCIL PUBLIC ART REVIEW**

The Arts Council indicates they “are familiar with the artist and comfortable with their work, and the artist’s body of work and reputation is extensive in the community”,

As a condition of approval, staff is recommending final details regarding the public art and associated lighting are delegated to Planning Staff in coordination with the Arts Council to ensure that any potential issues are addressed as the design of the public art progresses.

## **ATTACHMENT F – PROPERTY AND VICINITY PHOTOS**



Site (Thomas Electric – tan buildings – to be removed)



Woodbine Avenue – private right-of-way on east side of site





Existing 200 South façade (building in foreground not part of project)



Light rail station adjacent to the site - looking east



Existing drive entry for Thomas Electric



Rear of existing building



## ATTACHMENT G – G-MU DEVELOPMENT STANDARDS

REQUIREMENT	STANDARD	PROPOSED	COMPLIANCE Y/N
<b>Minimum Yard Requirements</b>	No minimum setback requirements	<u>Front yard/200 South</u> – zero setback <u>Interior side yard</u> – zero setback Rear yard – 1.5 inches to 6.5 feet	<b>Complies</b>
<b>Maximum Yard Requirements</b>	Front Yard – a minimum of 25% of the length of the façade of a principal building shall be set back no farther than 5 FT from the street right of way line.	0' front yard setback along 200 South.	<b>Complies</b>
<b>Lot Area</b>	No Minimum or Maximum	18,727 SF	<b>Complies</b>
<b>Lot Width</b>	No Minimum	113,5'	<b>Complies</b>
<b>Building Height</b>	Minimum building height is 45 FT  Maximum building height is 75 FT. Buildings without flat roofs are allowed up to 90 FT.	70' 5"	<b>Complies</b>
<b>G-MU Urban Design Standards</b>	A differentiated base is required.  70% of materials are to be brick masonry textured or patterned concrete or cut stone  The fenestration of all new construction shall be three-dimensional (e.g., recessed windows, protruding cornice, etc.).	The design of the building base incorporates change, contrast, and intricacy in façade form, color and materials.  Applicant is requesting relief from the 70% exterior material requirements through Design Review as outlined in the report.  The Intent of the requirement is to discourage flat curtain wall buildings. The proposed exterior materials add dimension and shadow lines to the façade with 2.5" reveals and material texture/variation when surrounded by brick. The windows	<b>Complies</b>  <b>Building materials do not comply. Modification requested through Design Review process.</b>  <b>Fenestration does not comply. Modification requested through Design Review process.</b>

<p><b>G-MU Urban Design Standards (continued)</b></p>	<p>Awnings are required over entry doors which are set back from the property line and may be allowed, under revocable permit, when an entry is at a property line.</p> <p>Awnings are permitted over ground level windows. Where awnings extend out over the public way, a revocable permit is required.</p> <p>Buildings with completely smooth exterior surfaces shall not be permitted, all new construction shall have three-dimensional details on the exterior that includes cornices, windowsills, headers and similar features.</p> <p>All windows shall be recessed from the exterior wall a minimum of 3". Bay windows, projecting windows, and balcony doors are exempt from this requirement.</p> <p>The reflectivity of the glass used in the windows shall be limited to 18% as defined by the ASTA standard.</p> <p>Maximum length of an uninterrupted wall on the first floor is 15'.</p>	<p>in the stucco are flush but many of the stucco portions themselves are recessed.</p> <p>Awning over Entry at ground level on 200 south projecting 4 feet.</p> <p>No awnings over the windows</p> <p>The façades of the building have three-dimensional detailing except the west façade, which is adjacent to future development at the property line.</p> <p>Windows are recessed a minimum of 2.5" where surrounded by brick but are flush when surrounded by stucco (and many of the stucco portion are themselves recessed).</p> <p>Reflectivity of glass will comply.</p> <p>The building entry, windows for tenant spaces and a driveway opening are provided along 200 South: leaving no uninterrupted walls longer than 15 feet that do not have</p>	<p><b>Awnings proposed over entry – will require revocable permit</b></p> <p><b>No Awnings over windows</b></p> <p><b>Façade detailing complies except the west façade which will be eventually covered by adjacent construction</b></p> <p><b>Does not comply. Proposed to be waived through Design Review</b></p> <p><b>Complies</b></p> <p><b>Complies</b></p>
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	<p>Minimum First Floor Glass: The first-floor elevation facing a street of all new buildings shall not have less than 40% glass surfaces. All first-floor glass shall be nonreflective. The glass requirement may be reduced to 25% if the ground floor uses are residential.</p> <p>Screening: All building equipment and service areas, including on-grade and roof mechanical equipment and transformers that are readily visible from the public right of way, shall be screened from public view. These elements shall be sited to minimize their visibility and impact or enclosed as to appear to be an integral part of the architectural design of the building.</p>	<p>some sort of detailing or transparency. There are blank walls in the rear and on the side of the building. However they are not adjacent to public streets and not required to meet this standard, however, the wall adjacent to Woodbine will have 37.5 feet of window on the northern portion adjacent to 200 South and the remainder of the walkway will contain an art piece.</p> <p>The street facing façade along 200 South has 55% glazing.</p> <p>The trash enclosure is located interior to the development. Gas and Electrical meters are along the rear façade.</p> <p>The required Rocky Mountain Power transformer is being located to the rear of the building.</p>	<p><b>Complies</b></p> <p><b>Complies</b></p>
<p><b>Mid-Block Walkways:</b></p>	<p>As a part of the city's plan for the downtown area, it is intended that mid-block walkways be provided to facilitate pedestrian movement within the area. To delineate the public need for such walkways, the city has formulated an official plan for their location and implementation, which is on file at</p>	<p>Woodbine Avenue functions as a mid-block walk-way on the east side of the project running north south.</p> <p>Woodbine Avenue is a private right-of-way.</p>	<p><b>Complies.</b></p>

	<p>the planning division office. All buildings constructed after the effective date hereof within the G-MU gateway-mixed use district shall conform to this plan for mid-block walkways.</p>	<p>It is being activated by this project by having glass from the associated tenant spaces (leasing, workout room) onto Woodbine for the first 37.5 feet of the walkway heading south from 200 South.</p> <p>The southern portion of Woodbine is adjacent to a blank wall created by the interior parking. The wall is proposed to be the canvas for the public art. Lighting to wash the wall on Woodbine is proposed to both highlight the art and increase pedestrian safety. At this point in time, Woodbine does not connect to the south, but the RDA has plans to complete a larger walkway system.</p>	
<p><b>Perimeter Parking Lot Landscaping-21A.48.070</b></p>	<p>Where a parking lot is located within a required yard, or within 20' of a lot line, perimeter landscaping shall be required along the corresponding edge of the parking lot in conformance with the provisions in table 21A.48.070G.</p> <p>Perimeter landscape areas must be at least 7', as measured from the back of the parking lot curb and extending any parking space overhang area.</p> <p>Required Improvements: Within the landscape area required above, landscape improvements shall be required as established in table 21A.48.070G:</p>	<p>Not applicable</p>	<p><b>Not applicable</b></p>

	<ul style="list-style-type: none"> <li>• 1 shade tree every 30 feet</li> <li>• 1 shrub per 3 feet</li> <li>• Turf or ground cover outside of tree and shrub plantings</li> </ul> <p>Parking Lot Curb Controls: Six inch (6") poured concrete curb controls shall be constructed around all required landscaping on the perimeter and within parking lots.</p>		
<p><b>Interior Parking Lot Landscaping</b></p>	<p>Not less than 5% of the interior of a parking lot shall be devoted to landscaping. Landscaping areas located along the perimeter of a parking lot beyond the curb or edge of pavement of the lot shall not be included toward satisfying this requirement.</p> <p>Landscaped areas shall be improved in conformance with the following:</p> <p>Dispersion: Interior parking lot landscaping areas shall be dispersed throughout the parking lot</p> <p>Minimum Size: Interior parking lot or landscaping areas shall be a minimum of 120 square feet in area and shall be a minimum of 5' in width, as measured from back of curb to back of curb.</p> <p>Landscape Material: The plants used to improve the landscape areas defined above shall conform to the following:</p> <ul style="list-style-type: none"> <li>• The primary plant materials used in parking lots or vehicle sales or lease lots shall be shade tree species in conformance with applicable provisions of subsections <a href="#">21A.48.050A</a> and B. Ornamental trees, shrubbery, hedges, and</li> </ul>	<p>Not applicable</p>	<p><b>Not Applicable</b></p>



	<p>other plants may be used to supplement the shade tree plantings, but shall not be the sole contribution to such landscaping;</p> <ul style="list-style-type: none"><li>• Quantity: One shade tree shall be provided for every one hundred twenty (120) square feet of landscaping area;</li><li>• Ground Cover: A minimum of fifty percent (50%) of every interior parking lot or vehicle sales or lease lots landscaping area shall be planted with an approved ground cover in the appropriate density to achieve complete cover within two (2) years, as determined by the zoning administrator.</li></ul>		
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## **ATTACHMENT H – PLANNED DEVELOPMENT STANDARDS**

**21a.55.050: Standards for Planned Developments:** The planning commission may approve, approve with conditions, or deny a planned development based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with the following standards:

Standard	Finding	Rationale
<p><b>A.</b> Planned Development Objectives: The planned development shall meet the purpose statement for a planned development (Section 21A.55.010 of this chapter) and will achieve at least one of the objectives stated in said section. To determine if a planned development objective has been achieved, the applicant shall demonstrate that at least one of the strategies associated with the objective are included in the proposed planned development. The applicant shall also demonstrate why modifications to the zoning regulations are necessary to meet the purpose statement for a planned development. The planning commission should consider the relationship between the proposed modifications to the zoning regulations and the purpose of a planned development and determine if the project will result in a more enhanced product than would be achievable through strict application of the land use regulations.</p>	<p><b>Complies</b></p>	<p>The applicant’s narrative identifies several Planned Development objectives they seek to achieve with the proposal. Staff has determined the proposal meets at least the following Planned Development objectives:</p> <ul style="list-style-type: none"> <li>• <b>Housing:</b> Providing affordable housing or types of housing that helps achieve the City's housing goals and policies.</li> <li>• <b>Master Plan Implementation:</b> A project that helps implement portions of an adopted Master Plan in instances where the Master Plan provides specific guidance on the character of the immediate vicinity of the proposal.</li> </ul> <p><i>Downtown Community Plan</i> The project is located in the Depot District of the Downtown Community Plan which has goals and initiatives related to providing a variety of housing choices, and connected, walkable pedestrian oriented places.</p> <ul style="list-style-type: none"> <li>• Increase the residential population downtown by at least 20,000 residents or more by 2040 to build a 24/7 downtown.</li> <li>• An integrated mid-block walkway system that prioritizes pedestrians.</li> </ul> <p><i>Urban Design Element</i></p> <ul style="list-style-type: none"> <li>• Ensure that features of building design such as color, detail, materials, and scale are responsive to district character neighboring buildings and the pedestrian.</li> <li>• Maintain pedestrian oriented development at the ground floor of the building.</li> <li>• To be successful, mixed uses must be tied with convenient and appropriate open space, recreation and transportation networks.</li> </ul>
<p><b>B.</b> The proposed planned development is generally consistent with adopted policies set</p>	<p><b>Complies</b></p>	<p>See statement above.</p>

<p>forth in the citywide, community, and/or small area master plan that is applicable to the site where the planned development will be located.</p>		<p><i>The Gateway Specific Plan</i></p> <ul style="list-style-type: none"> <li>• Create strong neighborhoods with diversity in housing type, tenure and cost.</li> <li>• Encourage a wide diversity of multi-family housing types and a mixture of rental and ownership housing.</li> <li>• Maximize housing opportunities for residents who desire an urban neighborhood environment.</li> <li>• Provide parking that does not detract from the neighborhood character or the area.</li> </ul> <p><i>Growing SLC: A Five Year Housing Plan</i> The housing plan focuses on ways the city can meet its housing needs in the next five years. The plan seeks the following, among other objectives that the project meets:</p> <ul style="list-style-type: none"> <li>• Develop new housing opportunities throughout the City.</li> <li>• Foster and celebrate the urban residential tradition;</li> <li>• Emphasize the value of transit-oriented development, transit accessibility, and proximity to services.</li> </ul>	
<p><b>C.</b> Design and Compatibility: The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations. In determining design and compatibility, the planning commission should consider:</p>	<p><b>Complies</b></p>	<p>All new construction in this zone is required to go through the Planned Development process. The proposed project generally complies with all design and compatibility considerations however some modifications of the G-MU urban design standards are being sought through the Design Review process. See detailed analysis in <a href="#">Attachment I.</a></p>	
<p><b>C 1</b></p>	<p>Whether the scale, mass, and intensity of the proposed planned development is compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable master plan related to building and site design;</p>	<p><b>Complies</b></p>	<p>The proposed development is located within a zoning district that anticipates the size, scale and intensity of the proposed development. This area of the neighborhood contains a mix of uses including commercial, warehouse, and residential with a variety of housing types and density. The proposal is not unique for the zoning district or this neighborhood context. The surrounding properties could be similarly redeveloped.</p>
<p><b>C 2</b></p>	<p>Whether the building orientation and building materials in the proposed planned development are compatible with the neighborhood where the planned development will be located and/or the</p>	<p><b>Complies</b></p>	<p><i>Building Orientation</i> The proposed project is built to the front property line and meets the zoning specific setback requirements along 200 South.</p>

	policies stated in an applicable master plan related to building and site design;		<i>Building Materials</i> The ground floor of the project has high levels of glass and masonry. The ground level includes an entry awning feature that will accommodate signage to articulate the entry to the building and connect the project to the pedestrian experience.
<b>C 3</b>	Whether building setbacks along the perimeter of the development:  a. Maintain the visual character of the neighborhood or the character described in the applicable master plan. b. Provide sufficient space for private amenities. c. Provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise. d. Provide adequate sight lines to streets, driveways and sidewalks. e. Provide sufficient space for maintenance.	<b>Complies</b>	There are not any setback requirements for properties in the G-MU with exception of a maximum front yard setback. The property is built to the property line of the 200 South street frontage. Exterior space is provided in the form of a public mid-block walkway (which is actually a private right-of-way) as well as some balcony space and second level courtyard for the tenants of the building.
<b>C 4</b>	Whether building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction;	<b>Complies</b>	The ground floor offers high levels of glass and visual interest along the 200 South frontage. Interest has been provided in the form of material, color and variation, articulation, and architectural detailing.
<b>C 5</b>	Whether lighting is designed for safety and visual interest while minimizing impacts on surrounding property;	<b>Complies (with conditions)</b>	The petitioner is indicating that lighting will be provided along Woodbine. More information is needed regarding lighting along the midblock walkway. <b><i>Condition of approval – final details regarding lighting are delegated to Planning Staff as part of the art proposal.</i></b> Otherwise the exterior lighting is limited to the main entry awning and the “glow” from the elevator hallway in the main architectural element of the building that has window openings onto 200 South.
<b>C 6</b>	Whether dumpsters, loading docks and/or service areas are appropriately screened; and	<b>Complies</b>	Dumpsters are proposed to be located within the enclosed parking structure and not visible from the street or walkway.
<b>C 7</b>	Whether parking areas are appropriately buffered from adjacent uses.	<b>Complies</b>	The parking is entirely within the structure
<b>D.</b>	Landscaping: The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed	<b>Not Applicable</b>	The project covers the entire site (except for access to the meters in the rear).

planned development, the planning commission should consider:			
<b>D 1</b>	Whether mature native trees located along the periphery of the property and along the street are preserved and maintained;	<b>NA</b>	
<b>D 2</b>	Whether existing landscaping that provides additional buffering to the abutting properties is maintained and preserved;	<b>NA</b>	
<b>D 3</b>	Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and	<b>NA</b>	
<b>D 4</b>	Whether proposed landscaping is appropriate for the scale of the development.	<b>NA</b>	
<b>E.</b> Mobility: The proposed planned development supports citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood. In determining mobility, the planning commission should consider:		<b>Complies</b>	The proposed project complies with all mobility considerations related to the Planned Development review.
<b>E1</b>	Whether drive access to local streets will negatively impact the safety, purpose and character of the street;	<b>Complies</b>	Proposed project will be accessed from a single drive access minimizing curb cuts and maintaining the character of the street. There is an existing curb cut to be relocated.
<b>E2</b>	Whether the site design considers safe circulation for a range of transportation options including:  a. Safe and accommodating pedestrian environment and pedestrian oriented design; b. Bicycle facilities and connections where appropriate, and orientation to transit where available; and c. Minimizing conflicts between different transportation modes;	<b>Complies.</b>	The project is oriented to the pedestrian, providing active ground floor uses, high ground floor transparency, and building lighting.  The project site is located directly adjacent to the "Old Greek Town" TRAX stop as well as two blocks from the intermodal hub. Bike amenities are provided within the development.  A midblock walkway is located to the east of the properties and can be accessed from 200 South as well as Eccles Avenue when the adjacent properties redevelop.
<b>E3</b>	Whether the site design of the proposed development promotes or enables access to adjacent uses and amenities;	<b>Complies</b>	The development accommodated a mid-block walkway on the east side of the building, allowing for greater neighborhood circulation.
<b>E4</b>	Whether the proposed design provides adequate emergency vehicle access; and	<b>Complies</b>	Emergency vehicle access is proposed on 200 South. The development will be required to provide adequate emergency vehicle access and compliance will be ensured during building permit review process. The developer has

			coordinated with the fire department in the creation of the building design.
<b>E5</b>	Whether loading access and service areas are adequate for the site and minimize impacts to the surrounding area and public rights-of-way.	<b>Complies</b>	Mechanical areas and trash enclosures are interior to the development and accessed from the drive approach on 200 South. Gas and electric meters are located on the rear of the building
	<b>F. Existing Site Features:</b> The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment.	<b>Complies</b>	The existing buildings on the property are contributing buildings as part of the warehouse national historic district. National register properties are not regulated in terms of demolition other than providing an approved reuse plan for the site.
	<b>G. Utilities:</b> Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area.	<b>Complies</b>	Proposal will be required to comply with any requirements from public utilities including any sewer and water main upgrades if applicable. The petitioner has been in contact with Rocky mountain power and has designed the necessary transformer to be located on-site.



# ATTACHMENT I – DESIGN REVIEW STANDARDS

**21a.59.060: Standards for Design Review:** In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review.

For applications that are required to go through the design review process for purposes other than a modification to a base zoning standard, the applicant shall demonstrate how the proposed project complies with each standard for design review. If an application complies with a standard in the base zoning district or with an applicable requirement in chapter 21A.37 of this title and that standard is directly related to a standard found in this section, the Planning Commission shall find that application complies with the specific standard for design review found in this section. An applicant may propose an alternative to a standard for design review provided the proposal is consistent with the intent of the standard for design review.

Standard	Finding	Rationale
<p><b>A.</b> Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as the City's adopted "urban design element" and adopted master plan policies and design guidelines governing the specific area of the proposed development</p>	<p><b>Meets base zoning standard</b></p>	<p>The development requests waiver from specific design requirements, but otherwise complies with the purpose statement of the G-MU district:  <i>The Gateway Districts are intended to provide controlled and compatible settings for residential, commercial, and industrial developments, and implement the objectives of the adopted gateway development master plan through district regulations that reinforce the mixed use character of the area and encourage the development of urban neighborhoods containing supportive retail, service commercial, office, industrial uses and high density residential.</i></p>
<p><b>B.</b> Development shall be primarily oriented to the sidewalk, not an interior courtyard or parking lot.</p> <ol style="list-style-type: none"> <li>1. Primary entrances shall face the public sidewalk (secondary entrances can face a parking lot).</li> <li>2. Building(s) shall be sited close to the public sidewalk, following and responding to the desired development patterns of the neighborhood.</li> <li>3. Parking shall be located within, behind, or to the side of buildings.</li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>The proposed development site has frontage on 200 South. The development is in generally oriented to the street with street level entrances and pedestrian oriented uses and features along the street facing façade.</p> <p>The main entry is from 200 South</p> <p>Parking is entirely interior to the building</p>
<p><b>C.</b> Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.</p>	<p><b>Complies</b></p>	<p>The proposed modification to building materials and fenestration will comply with this general standard</p>

<ol style="list-style-type: none"> <li>1. Locate active ground floor uses at or near the public sidewalk.</li> <li>2. Maximize transparency of ground floor facades.</li> <li>3. Use or reinterpret traditional storefront elements like sign bands, clerestory glazing, articulation, and architectural detail at window transitions.</li> <li>4. Locate outdoor dining patios, courtyards, plazas, habitable landscaped yards, and open spaces so that they have a direct visual connection to the street and outdoor spaces.</li> </ol>		<p>The primary building entrance along 200 South has an entrance that is oriented to the pedestrian and mass transit.</p> <p>The ground level facades are primarily glass storefronts.</p> <p>Apartment supportive space (rental, health club) is being provided along the 200 South frontage</p> <p>The building is generally property line to property line and has no landscaping beyond the public way improvements</p> <p>A private courtyard is provided on the second level (above parking) accessible to resident.</p>
<p><b>D.</b> Large building masses shall be divided into heights and sizes that relate to human scale.</p> <ol style="list-style-type: none"> <li>1. Relate building scale and massing to the size and scale of existing and anticipated buildings, such as alignments with established cornice heights, building massing, step-backs and vertical emphasis.</li> <li>2. Modulate the design of a larger building using a series of vertical or horizontal emphases to equate with the scale (heights and widths) of the buildings in the context and reduce the visual width or height.</li> <li>3. Include secondary elements such as balconies, porches, vertical bays, belt courses, fenestration and window reveals.</li> <li>4. Reflect the scale and solid-to-void ratio of windows and doors of the established character of the neighborhood or that which is desired in the master plan.</li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>This requirement is for buildings that are required to have design review because they exceed the square footage requirement of the base zone (for example; some zones require buildings larger than a prescribed square feet to receive design review). There is no requirement in the G-MU zone regarding exceeding building square footage that requires specific review.</p>
<p><b>E.</b> Building facades that exceed a combined contiguous building length of two hundred feet (200') shall include:</p> <ol style="list-style-type: none"> <li>1. Changes in vertical plane (breaks in façade);</li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>The building façade along 200 South does not exceed 200 feet.</p>

<ol style="list-style-type: none"> <li>2. Material changes; and</li> <li>3. Massing changes.</li> </ol>		
<p><b>F.</b> If provided, privately-owned public spaces shall include at least three (3) of the six (6) following elements:</p> <ol style="list-style-type: none"> <li>1. Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</li> <li>2. A mixture of areas that provide seasonal shade;</li> <li>3. Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</li> <li>4. Water features or public art;</li> <li>5. Outdoor dining areas; and</li> <li>6. Other amenities not listed above that provide a public benefit.</li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>The project generally is property line to property line with no private public open space other than balconies and courtyard for tenants.</p> <p>A court yard for residents is provided on the 2<sup>nd</sup> floor, above the roof of the parking. It consists of 2600 sq ft located within the light well adjacent to west property line. Seating, planters and playground equipment are provided in the courtyard.</p> <p>A public park is one half block to the east (500 West Park Blocks)</p>
<p><b>G.</b> Building height shall be modified to relate to human scale and minimize negative impacts. In downtown and in the CSHBD Sugar House Business District, building height shall contribute to a distinctive city skyline.</p> <ol style="list-style-type: none"> <li>1. Human scale: <ol style="list-style-type: none"> <li>a. Utilize setbacks to design a building that relate to the height and scale of adjacent and nearby buildings, or where identified, goals for future scale defined in adopted master plans.</li> <li>b. For buildings more than three stories or buildings with vertical mixed use, compose the design of a building with distinct base, middle and top sections to reduce the sense of apparent height.</li> </ol> </li> <li>2. Negative impacts:</li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>The proposal is not requesting additional building height.</p>

<ul style="list-style-type: none"> <li>a. Modulate taller buildings vertically and horizontally so that it steps up or down to its neighbors.</li> <li>b. Minimize shadow impacts of building height on the public realm and semi-public spaces by varying building massing. Demonstrate impact from shadows due to building height for the portions of the building that are subject to the request for additional height.</li> <li>c. Modify tall buildings to minimize wind impacts on public and private spaces, such as the inclusion of a wind break above the first level of the building.</li> </ul> <p>3. Cornices and rooflines:</p> <ul style="list-style-type: none"> <li>a. Shape and define rooflines to be cohesive with the building's overall form and composition.</li> <li>b. Include roof forms that complement the rooflines of surrounding buildings.</li> <li>c. Green roof and roof deck: Include a green roof and/or accessible roof deck to support a more visually compelling roof landscape and reduce solar gain, air pollution, and the amount of water entering the stormwater system.</li> </ul>		
<p><b>H.</b> Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the sidewalk, transit facilities, or midblock walkway</p>	<p><b>Meets base zoning standard</b></p>	<p>The petitioner is not asking for modification to parking  On-site parking is interior to the structure and does not occupy public street frontage (there is interior parking adjacent to Woodbine, which is a private street).  There is an existing curb cut along 200 South that will be moved to accommodate a new drive entry.  Although in the long run there may be a street to the rear of the property (the continuation of Eccles Avenue), it does not presently exist and the land is not in public ownership, therefore auto access</p>

		from 200 South is the only existing public street option.
<p><b>I.</b> Waste and recycling containers, mechanical equipment, storage areas, and loading docks shall be fully screened from public view and shall incorporate building materials and detailing compatible with the building being served. Service uses shall be set back from the front line of building or located within the structure. (Subsection 21A.37.050.K.)</p>	<b>Meets base zoning standard</b>	<p>The petitioner is not requesting modification to this standard. All waste management and storage is internal to the building with the exception of a power transformer and utility boxes that are by necessity on the outside of the building; they are along the rear façade.</p>
<p><b>J</b> Signage shall emphasize the pedestrian/mass transit orientation.</p> <ol style="list-style-type: none"> <li>1. Define specific spaces for signage that are integral to building design, such as commercial sign bands framed by a material change, columns for blade signs, or other clearly articulated band on the face of the building.</li> <li>2. Coordinate signage locations with appropriate lighting, awnings, and other projections.</li> <li>3. Coordinate sign location with landscaping to avoid conflicts.</li> </ol>	<b>Meets base zoning standard</b>	<p>The development is not requesting any waiver from the sign ordinance.</p> <p>The name of the building will be on the awning - a marquis type sign.</p> <p>The other street facing spaces are for uses associated with the building and do not require signage.</p>
<p><b>K.</b> Lighting shall support pedestrian comfort and safety, neighborhood image, and dark sky goals.</p> <ol style="list-style-type: none"> <li>1. Provide street lights as indicated in the Salt Lake City Lighting Master Plan.</li> <li>2. Outdoor lighting should be designed for low-level illumination and to minimize glare and light trespass onto adjacent properties and uplighting directly to the sky.</li> <li>3. Coordinate lighting with architecture, signage, and pedestrian circulation to accentuate significant building features, improve sign legibility, and support pedestrian comfort and safety.</li> </ol>	<b>Meets base zoning standard</b>	<p>The petitioner is not requesting any modification to this standard</p> <p>Public way improvement adjacent to the site, including lighting, already meet Salt Lake City standards. The developer has been notified that any public way improvements that are reconstructed must also meet Salt Lake City Standards.</p> <p>The developer is not proposing exterior lighting other than at the entry under the awning and to highlight the art (and walk-way) on Woodbine Avenue.</p> <p>The central tower element has light internal to it that will glow through the window at night, because it is an elevator waiting area. Otherwise lighting will be internal from units</p>

<p><b>L. Streetscape improvements shall be provided as follows:</b></p> <ol style="list-style-type: none"> <li>1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.</li> <li>2. Hardscape (paving material) shall be utilized to differentiate privately-owned public spaces from public spaces. Hardscape for public sidewalks shall follow applicable design standards. Permitted materials for privately-owned public spaces shall meet the following standards: <ol style="list-style-type: none"> <li>a. Use materials that are durable (withstand wear, pressure, damage), require a minimum of maintenance, and are easily repairable or replaceable should damage or defacement occur.</li> <li>b. Where practical, as in lower-traffic areas, use materials that allow rainwater to infiltrate into the ground and recharge the water table.</li> <li>c. Limit contribution to urban heat island effect by limiting use of dark materials and incorporating materials with a high Solar-Reflective Index (SRI).</li> <li>d. Utilize materials and designs that have an identifiable relationship to the character of the site, the neighborhood, or Salt Lake City.</li> <li>e. Use materials (like textured ground surfaces) and</li> </ol> </li> </ol>	<p><b>Meets base zoning standard</b></p>	<p>The petitioner is not requesting any modification to this standard</p> <p>Public way improvement adjacent to the site, including paving and street trees, already meet Salt Lake City standards. The developer has been notified that any public way improvements that are reconstructed must also meet Salt Lake City Standards.</p> <p>The project is property line to property line and significant hard surfacing on the site does not exist.</p> <p>There is gravel or pavement around meters on the rear of the building.</p> <p>Roof Drainage is into storm water system The second floor courtyard drains into the sand oil separator in the garage then to the storm water system</p> <p>Light reflective roofing is energy compliant</p> <p>The gateway neighborhood is an eclectic area with many materials commonly used in an industrial setting in use. The exterior materials proposed for this build can be found in numerous locations elsewhere in the neighborhood.</p>
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<p>features (like ramps and seating at key resting points) to support access and comfort for people of all abilities.</p> <p>f. Asphalt shall be limited to vehicle drive aisles.</p>		<p>The main entry is from the street and is accessible.</p> <p>Woodbine Avenue is presently paved with asphalt</p>
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## **ATTACHMENT J – PUBLIC PROCESS & COMMENTS**

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### **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project since the applications were submitted:

- May 31, 2019 – The Downtown Community Council and the Downtown Alliance were provided notice of the proposal.

### **Notice of the public hearing for the proposal included:**

Public hearing notice mailed on August 1, 2019

Public hearing notice posted on August 1, 2019

Public notice posted on City and State websites and Planning Division list serve on August 1, 2019.

### **Public Input:**

As of the publication of this Staff Report, Staff has received a copy of an email of support from the Downtown Community Council dated January 21, 2019. If Staff receives any future comments on the proposal following the publication of the staff report, they will be included in the public record.

## Tammy Clark

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**From:** Thomas Merrill  
**Sent:** Monday, January 21, 2019 2:04 PM  
**To:** Tammy Clark  
**Cc:** Dreaded Vegan Nana; Jim Ogilvie; Bryan Hill; Randall Carlisle  
**Subject:** Central Station Housing Support

Tammy,

Thank you for making time to share your project details with the Downtown Community Board. We support your project and look forward to having you present on February 20th in our public meeting.

Best,

-Tom Merrill  
801-361-4642

## **ATTACHMENT K– DEPARTMENT REVIEW COMMENTS**

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The applicant attended a Development Review Team (DRT) meeting in February 2018, DRT2018-00033. In addition to the comments below, comments from the DRT meeting are applicable to the project.

**Engineering:** (Scott Weiler at [scott.weiler@slcgov.com](mailto:scott.weiler@slcgov.com) or 801-535-6159)

Prior to performing work in the public way, a Permit to Work in the Public Way must be obtained from SLC Engineering.

**Transportation:** (Michael Barry at [michael.barry@slcgov.com](mailto:michael.barry@slcgov.com) or 801-535-7147)

The minimum parking requirement appears to be satisfied including ADA, EV and bicycle. The dimensions of the parking stalls must meet the requirements of 21A.44.020. A ten foot sight distance triangle is required at the exit of the parking structure.

**Building Code:** (Steven Collett at [steven.collett@slcgov.com](mailto:steven.collett@slcgov.com) or 801-972-7839)

Attached

**Public Utilities:** (Jason Draper at [Jason.Draper@slcgov.com](mailto:Jason.Draper@slcgov.com))

Acceptance of the planned development and site design review does not provide utility development permit or building permit.

Utilities cannot cross property lines without appropriate easements and agreements.

Public Utility permit, connection, survey and inspection fees will apply.

Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans.

All utility design and construction must comply with APWA Standards and SLCPU Standard Practices.

All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation.

**Zoning Review:** (Alan Michelsen at [alan.michelsen@slcgov.com](mailto:alan.michelsen@slcgov.com) or 801-535-7742)

Attached.





DEPARTMENT of COMMUNITY and NEIGHBORHOODS

JACKIE BISKUPSKI  
MAYOR

ORION GOFF  
DIRECTOR

BUILDING REVIEW COMMENTS

**Date:** June 7, 2019

**Zoning District:** G-MU

**Project Name:** Central Station Apartments

**Address:** 549 West 200 South

**Petitions:** PLNPCM2019-00399, & PLNSUB2019-00477

**Planner:** Doug Dansie

**Building Reviewer:** Steven Collett

**Building Comments:**

- Per IBC 1023.3 interior exit stairways and shall terminate at an exit discharge or a public way. The South stairway does not discharge at the public way or lead to a public way. It is land locked by property lines from the adjacent parcels. Both 225 South and Woodbine Street are not a public way. These are private streets on adjacent parcels
- Per IBC 3202.2 Encroachments into the public right-of-way above grade and below 8 feet in height shall be prohibited except for steps, awnings, & architectural features i.e. columns, base, & moldings. Doors and windows shall not open or project into the public right-of-way. The door to the interior exit stair to the North projects into the public way.
- A1.02 thru A1.08 show projections over, or right up to the property line on the North, South, and East. Projections are not allowed per IBC 705.2 less than 2 feet from property line. Note – Woodbine Street to the East is not a public way. This is a private street on an adjacent parcel.
- A1.01 thru A1.07 show openings on the property line on the East. Openings are not allowed per IBC 705.8 less than 3 feet from property line. Note – Woodbine Street to the East is not a public way. This is a private street on an adjacent parcel.
- Sheet F1.04, A1.03. The courtyard has only one exit. With having only one exit, it is required to have an occupant load of 49 or less and a maximum common path of egress travel distance of 75 feet per IBC 1006.2.1. This space does not demonstrate an occupant load of 49 or less or meet the maximum common path of egress travel distance for a space with only one exit.

Thank you.



DEPARTMENT of COMMUNITY and NEIGHBORHOODS

JACKIE BISKUPSKI  
MAYOR

ORION GOFF  
DIRECTOR

BUILDING REVIEW COMMENTS

**Date:** June 7, 2019

**Zoning District:** G-MU

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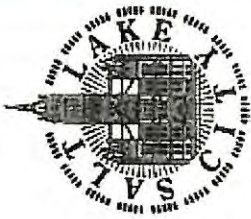
**Planner:** Doug Dansie

**Building Reviewer:** Steven Collett

**Building Comments:**

- Per IBC 1023.3 interior exit stairways and shall terminate at an exit discharge or a public way. The South stairway does not discharge at the public way or lead to a public way. It is land locked by property lines from the adjacent parcels. Both 225 South and Woodbine Street are not a public way. These are private streets on adjacent parcels
- Per IBC 3202.2 Encroachments into the public right-of-way above grade and below 8 feet in height shall be prohibited except for steps, awnings, & architectural features i.e. columns, base, & moldings. Doors and windows shall not open or project into the public right-of-way. The door to the interior exit stair to the North projects into the public way.
- A1.02 thru A1.08 show projections over, or right up to the property line on the North, South, and East. Projections are not allowed per IBC 705.2 less than 2 feet from property line. Note – Woodbine Street to the East is not a public way. This is a private street on an adjacent parcel.
- A1.01 thru A1.07 show openings on the property line on the East. Openings are not allowed per IBC 705.8 less than 3 feet from property line. Note – Woodbine Street to the East is not a public way. This is a private street on an adjacent parcel.
- Sheet F1.04, A1.03. The courtyard has only one exit. With having only one exit, it is required to have an occupant load of 49 or less and a maximum common path of egress travel distance of 75 feet per IBC 1006.2.1. This space does not demonstrate an occupant load of 49 or less or meet the maximum common path of egress travel distance for a space with only one exit.

Thank you.



# Work Flow History Report

549 W 200 S

DRT2018-00033

Project: Shotorbani Development

Project Description: 3:30PM, Multi-family apartments.

**The Development Review Team (DRT) is designed to provide PRELIMINARY review to assist in the design of the complete site plan. A complete review of the site plan will take place upon submittal of the completed site plan to the Permits Counter.**

Date	Task/Inspection	Status/Result	Action By
2/12/2018	Application Acceptance	Accepted	Robinson, DeeDee
<b>COMMENTS</b>			
2/12/2018	Fire Review	Comments	Christensen, Kenney
<b>COMMENTS</b>			
<p>For any occupancy the following is needed: • Provide record of certified address assigned by the city engineer office; all drawing sheets shall contain the certified address in the title block including the unit or suite number if applicable. The application for permit shall have the same certified address, unit or suite number. • Fire hydrants shall be within 400 feet (600 feet; parking lots &amp; residential) of the structure or facility. • If required; FDC shall be installed on the certified address side of the structure and within 100 feet of a fire hydrant located near an approved fire department access road. • FDC and fire hydrants shall be unobstructed and have a minimum 3 feet clearance. Immediate access to fire department connections and hydrants shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the fire official. • Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of 2015 IFC and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. If the structure is built on property line then an Alternate Means &amp; Method may be applied for. • The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus (Fire apparatus access roads shall not exceed 10 percent in grade). Traffic calming devices shall be prohibited unless approved by the Fire Prevention Bureau (AM&amp;M Agreement). • Fire department access roads shall be a minimum of * 26 ft. clear width (exclusive of shoulders) and a clear height of 13 ft. 6 inches. Fire department access roads shall be design HS20 with turning radius of 45 ft. outside and 20 ft. inside. The access road shall not have a dead end greater than 150 ft. Fire access roads shall be capable of supporting vehicle loading (80,000 LBS) under all weather conditions. *{If the structure is less than 30 feet tall the access road can be reduced to a minimum 20 ft. clear width (exclusive of shoulders) when approved by the Fire Prevention Bureau, NO fire truck aerial access would be allowed, AM&amp;M agreement would be required with alternative design.} Hammerhead turn arounds shall be 80 feet turn areas. • The aerial access road shall have no utility lines over the road or between the structure and the access road; where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided (the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater). • When two access roads are required then one of the roads shall not be closer than 15 ft. to the structure and greater than 30 ft. from the structure. • Gates or other approved barricades across fire apparatus access roads, trails or other access ways, not including public streets, alleys or highways. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200 and shall be approved by the fire official.</p>			



2/12/2018	Public Utilities Review	Comments	Draper, Jason
<b>COMMENTS</b>			
<p>DRT Review - Public Utilities - February 12, 2018 Proposed 80 Unit apartment with retail space. Refer to previous DRT notes. The property currently has water and sewer service. There are two sewer connections. These are old connections (1912-1914) and will need to be inspected along with video inspection to verify the capacity and integrity. Unused sewer lateral must be capped at the main in 200 South The water service is a 3/4" meter connected to a 12" main in 200 South. Drainage cannot be directed to neighboring property without permission to do so. The neighboring sewer connection may be underneath the property - recommend investigation to determine location of the neighboring sewer service. Utilities cannot cross property lines without appropriate easements and agreements. Public Utility permit, connection, survey and inspection fees will apply. Please submit site utility and grading plans for review. Other plans such as erosion control plans and plumbing plans may also be required depending on the scope of work. Submit supporting documents and calculations along with the plans. Applicant must provide sewer demand calculations to SLCPU for review. The expected maximum daily flow (gpd) from the development will be modeled to determine the impacts on the public sewer system. If one or more reaches of the sewer system reach capacity as a result of the development, sewer main upsizing will be required at the property owner's expense. Required improvements on the public sewer system will be determined by the Development Review Engineer. A plan and profile and Engineer's cost estimate must be submitted for review. The property owner is required to bond for the amount of the approved cost estimate. All utility design and construction must comply with APWA Standards and SLCPU Standard Practices. All utilities must be separated by a minimum of 3ft horizontally and 18" vertically. Water and sewer lines require 10ft minimum horizontal separation. One culinary water meter and one fire line are permitted per parcel. If the parcel is larger than 0.5 acres, a separate irrigation meter is also permitted. Each service must have a separate tap to the main. Covered parking area drains and work shop area drains are required to be treated to remove solids and oils prior to discharge to the sanitary sewer. These drains cannot be discharged to the storm drain. Use a sand/oil separator or similar device. A 4ft diameter sampling manhole must be located downstream of the device and upstream of any other connections.</p>			
<b>2/13/2018 Closure</b>			<b>Robinson, DeeDee</b>
<b>COMMENTS</b>			
<b>2/13/2018 Engineering Review</b>			<b>Crockett, Jack</b>
<b>COMMENTS</b>			
<p>New drive approaches installed along 200 South shall be per APWA standard plans. A licensed, bonded, and insured contractor shall obtain an engineering permit to work in the public right-of-way along 200 South. Certified address required prior to building permit issuance. Call Alice Montoya at 801-535-7248. Sidewalk along 200 South shall comply with CBD sidewalk standard plan. Contact Chien Hwang at 801-535-6242 concerning work in the right-of-way and permits. Site Plan Review – Required</p>			
<b>2/13/2018 Transportation Review</b>			<b>Barry, Michael</b>
<b>COMMENTS</b>			
<p>Proposed multi-family in GMU. Developer must provide proof of access easement to parking in rear of lot and east side private street (Woodbine). General Information Regarding Transportation Review SLC Transportation Division Provide a site plan, drawn to scale and fully dimensioned, showing any off street parking or loading facilities to be provided. Provide complete parking calculations on site plan indicating the following: • Each type of use and associated parking ratio per Table 21A.44.030; and square footage (or other specified basis of measurement) of each type of use. • Minimum number of ADA parking spaces required (21A.44.020.D) • Minimum number of passenger vehicle parking spaces required (21A.44.030.G) • Maximum number of passenger vehicles parking spaces required (21A.44.030.H) • Minimum number of electric vehicle parking spaces required (21A.44.050.B.2) • Minimum number of bicycle parking spaces required (21A.44.050.B.3) • Minimum number of loading berths required (21A.44.080) • Any modifications to parking requirements (21A.44.040) • Number of parking spaces provided (include both existing and proposed quantities) Provide the following details: • ADA parking stall dimensions, signage, pavement markings, and ramps. • Signage and/or pavement markings for electric vehicle parking spaces indicating exclusive availability for electric vehicles (see 21A.44.050.B.2). • Bike rack installation (See SLC Transportation Standard Detail, F1.12, "Bicycle Parking" @ <a href="http://www.slcdocs.com/transportation/design/pdf/F1.12.pdf">http://www.slcdocs.com/transportation/design/pdf/F1.12.pdf</a>. General Parking Regulations in SLC Code: • General Off Street Parking Regulations (21A.44.020) • Driveway Standards (21A.44.020.F.7) • Parking Restrictions in Required Yards (21A.44.060) • Regulation of Fences, Walls, and Hedges: Height Restrictions and Gates (21A.40.120.E) Specify 2012 APWA Standards for public way improvements including: • Curb and gutter (Plan 205) • Sidewalk (Plan 231) • Driveway approaches (Plans 215, 216, 221, 222, 225, and 229) For additional information related to transportation review items, please contact: Mike Barry, PE Transportation Engineer SLC Transportation Division (801) 535-7147 michael.barry@slcgov.com</p>			



2/13/2018 Zoning Review	Comments	Brown, Ken
<b>COMMENTS</b>		
<p>GMU Zone – Consolidate 543, 555 and 559 W 200 S parcels. Discussion of an 81 unit multi-family apartment building relative to the recent zoning district change from D-3 to GMU. • The lot consolidation process is to be initiated with the Planning Desk in the Building Permits Office or from the planning website. • All new construction of principal buildings may be approved only as a planned development in conformance with the provisions of chapter 21A.55. The planned development process is to be initiated with the Planning Desk in the Building Permits Office or from the planning website. • A demolition permit will be required for the removal of each of the existing buildings on each site (see 18.64 for demolition provisions). As part of the demolition application, the construction waste management provisions of 21A.36.250 apply for each site. • A Certified Address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process. • Any public way encroachments will need to be discussed with the SLC Real Property Div. in Room #425 at 451 S. State St. 801-535-7133, including the existing unused concrete base that was poured some time ago between the back of street curb and the property line at the east side of this proposal. • This property will require planting of park strip trees and public way beautification consistent with the rest of the block. Any park strip tree protection/planting will need to be evaluated by Urban Forestry. • This proposal will need to be discussed with the building and fire code personnel in Room #215. • See 21A.31 for general and specific regulations of the GMU zoning district. Regarding 21A.31.020 D Special Provisions: All buildings fronting 200 South shall include retail goods/service establishments, offices, restaurants, art galleries, motion picture theaters or performing arts facilities on the first floor adjacent to the front or corner side lot line. It has been determined that the proposed three foot (3') deep art gallery for on-line sales of art does not satisfy the intent of this ordinance. A modification to this special provision requirement may be granted through the conditional building and site design review process, subject to conformance with the standards and procedures of chapter 21A.59. • See 21A.33 for permitted and conditional uses allowed. • See 21A.36.010 for Use Of Land And Buildings and, 21A.36.250 for a permanent recycling collection station. • See 21A.36.250 for construction waste management plan requirements. To download the construction waste management plan handout, see <a href="http://www.slcgov.com/slcgreen/constructiondemo">http://www.slcgov.com/slcgreen/constructiondemo</a>. The Waste Management Plans should be filed by email to the Streets and Sanitation Division at <a href="mailto:constructionrecycling@slcgov.com">constructionrecycling@slcgov.com</a> at the time of application for permit. Questions regarding the waste management plans may be directed to 801-535-6984. • See 21A.40 for Accessory Uses, Buildings and Structures, and including ground mounted utility boxes. • See 21A.44 for parking and maneuvering, with parking calculations provided that address the minimum parking required, maximum parking allowed, number provided, bicycle parking required/provided outside of the building and within 50' of the principle entry, electric vehicle parking required/provided, off-street loading required/provided and any method of reducing or increasing the parking requirement. • Any park strip tree removal/protection/planting will need to be evaluated by Urban Forestry. • See 21A.48 for landscaping and including removal/protection of private property trees. Ken Brown Senior Development Review Planner 801-535-6179 email: <a href="mailto:ken.brown@slcgov.com">ken.brown@slcgov.com</a></p>		